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AMESBURY CITY CLERK

## PLANNING BOARD DECISION

*Property Ownership:* **Boston North Properties, LLC**  
**98 Elm Street, Salisbury, MA 01952**

*Applicant:* **Corcoran Jennison Associates, LLC**  
**150 Mount Vernon Street, Suite 500 Boston, MA 02125**

*Application Type:* **SITE PLAN REVIEW**

*Project:* **Amesbury Heights – 240 Multi-family Residential Apartments**

*Location:* **36 Haverhill Road, Amesbury, MA 01913**

*Date:* **April 13, 2015**

### **A. GENERAL**

On or about November 04, 2014 the Amesbury Planning Board (the “Board”) received application for Site Plan Review for **Amesbury Heights**, a proposed 240 residential apartment complex consisting of five buildings (“Project”) at **36 Haverhill Road in Amesbury MA**. The application was submitted along with a Site Plan (the “Plan”) drawn by Vanasse Hangen Brustlin, Inc., Watertown MA 02471 on October 28, 2014 and last revised on March 15, 2015. The application and supporting documents were submitted by Conor Nagle, P.E. on behalf of Sean McReynolds, Project Director, **Corcoran Jennison Companies, Inc.**, (the “Applicant”). The set of plans includes 27 sheets.

The Board also received supplemental information for review with the application, including plans and documents pertaining to stormwater and drainage, erosion control, water and sewer, elevations and landscaping plans. Some of these documents are attached as Exhibits:

- Exhibit 1 – Project Narrative – Letter dated Oct 30, 2014
- Exhibit 2 – 40R Plan Set (Sheets C-1 through C-18)
- Exhibit 3 – Off-Site Traffic Improvements – Amesbury Haverhill Road (Sheets 1, 8, 9 and 14)
- Exhibit 4 - Architectural Rendering
- Exhibit 5 - Concept Architectural Exterior Elevations

The Board held the initial public hearing on December 8, 2014 and subsequent public hearings on 1/12/2015, 2/23/2015, and 3/9/2015. The public hearing was closed on March 23, 2015 and a decision was rendered on April 13, 2015. By mutual consent and Applicant's requests dated 03/09/2015, 03/23/2015 and 4/15/2015, the time to file the Board's Decision was extended to April 17, 2015.

This is the Final Action of the Board ("Decision") on the application for Site Plan Review.

**B. FINDINGS: General Findings XI.Q**

1. **Application received by Board** – The Applicant has made a Site Plan Review application for Plan Approval pursuant to the provisions of Section XI.Q of the Amesbury Zoning Bylaw. The Property is predominantly located in the Amesbury Gateway Village Smart Growth Overlay Zoning District (AGVSGOD), as established in the City and fully described in Section XI.Q;
2. **Project Site:** The subject Property is located at 36 Haverhill Road and as shown on the Site Plan;
3. **Existing Conditions and Project Description:** The Applicant provided a Project Narrative dated October 30, 2014 that describes the existing conditions and project description. The same narrative is attached as Exhibit 1.
4. **Proposed Use:** The Project, as proposed by the Applicant, will consist of two hundred forty (240) apartment units on the Property in five (5) multifamily residential structures, and a clubhouse, with the following mix of bedrooms:
 

One bedroom units:	99
Two bedroom units	136
Three bedroom units:	<u>5</u>
Total	240
5. **Site Layout, Grading and Building Location:** The proposed site plan is in substantial compliance with the conceptual layout envisioned for the 40R District. The details are described in the project narrative in Exhibit 1;
6. **Off – Street Parking, Traffic and Vehicular Circulation:** The Board heard testimony from abutters regarding traffic concerns along Rte 110 in the vicinity of Hoyt Avenue and Merrill Avenue and Jacqueline Drive. Since Rte 110 is a Mass DOT right of way, any and all improvements are subject to their final approval. The Applicant has submitted 75% design plans for proposed off-site improvements and those plans are being reviewed by the

State Agency. The Board will require Final Plans to determine compliance with the final approval before any occupancy can be issued.

7. **Storm water Management:** The drainage and stormwater plans will need to be finalized and reviewed along with Final Plans before full compliance with the performance standards can be made;
8. **Environmental Resource Protection:** The Project received an Order of Conditions under Massachusetts Wetlands Protection Act and related regulations, G. L. c. 131, § 40-40A, 310 CMR 10.00. No other determination was made by the Board. The Applicant has indicated that the remaining peer review comments and documents or applications under any other regulatory requirements will be submitted for review and approval with the Final Plans per this Decision.
9. **Architectural Design:** Architectural elevation drawings were reviewed by the Board. The Club house plans are still being developed. The Board has made comments on the color scheme and varying the building facades across buildings. The Board will review final architectural drawings to determine compliance with its recommendations and building designs standards under Section XI.Q.10. The Board decided to review the application on the basis that it will review the detailed architectural elevations and floor plans at a later date before commencement of any construction related activity;
10. **Landscaping** A landscaping plan has been submitted to the Board that generally satisfies the submission requirement. Upon submission of Final Plans, the Board will review for full compliance with the development performance standards.
11. **Technical and Legal Review:** The Applicant requested that the Board incorporate the peer review reports and technical assessment from the Comprehensive Permit application filed for the same project with the Zoning Board of Appeals, said Permit issued on March 15, 2007. The Board did not review any new engineering information but determined that

for review of Final Plans and accompanying documents it shall retain the following consultants to assist in the review of those documents:

Legal: Attorney Jonathan D. Witten, Duxbury, MA  
Engineering: Horsley Witten Group, Newburyport, MA  
Traffic: Conley Associates, Boston, MA

12. **Utilities**: The utility locations are shown as approximate and the plans indicate that others are responsible for a) verifying the location of existing utilities, and b) to coordinate with utility companies and the City departments for final location. All off-site improvements to public infrastructure shall be submitted for review and approval; and
13. **Affordable Documents**: The Board acknowledges the receipt of a draft Affordable Housing Restriction and sample Marketing Plan. The Board did not receive sufficient information to make a determination of full compliance with the provisions of Section XI.Q.6.

Based on the findings noted above, the Board determines that Special Conditions are required before the Project would meet the relevant permit criteria as well as any and all Development and Performance Standards of the Amesbury Zoning Bylaw (the "Bylaw").

**C. WAIVERS**

By letter dated January 16, 2015 the Applicant provided the Board with a list of waivers sought from the specific provisions of Amesbury's Subdivision Rules and Regulations and the Zoning Bylaw (see list below in Table 1). The Board has endeavored to grant waivers from those rules and regulations, only to the extent necessary, where the waivers are consistent with the purpose and intent of the regulations and would not threaten public health, safety or welfare and to minimize harm and disruption to the locus and real property abutting the locus. In the event that further waivers are required, the Applicant shall submit a written request for such waiver(s) to the Board and the Board may grant or deny such additional waivers in accordance with applicable rules and regulations in effect at that time. The following waivers are granted to the extent necessary to construct the approved plan as submitted and revised:

**TABLE 1:**

<b>Section(s) of Amesbury Zoning Bylaw</b>	<b>Requested Waiver</b>	<b>Decision of the Board</b>
Section XI.Q - 10.5.a.5	to use bituminous concrete curbing in place of the sloped granite or concrete requirement.	Granted to the extent necessary and as per approved Final Plans
Section XI.Q - 10.5.c.2	retaining wall greater than 6 feet in height (approximately 10 feet at the highest exposed height on the main entrance drive) and proposes to use a modular block system rather than natural stone finish	Granted to the extent necessary and as per approved Final Plans
Section XI.Q - 10.5.a.4	to install bituminous concrete sidewalks along the main access driveway	Granted to the extent necessary and as per approved Final Plans

#### **D. APPROVAL OF THE SITE PLAN AND CONDITIONS THERETO**

After public hearing, upon notice in accordance with the statute (General Laws, Chapter 40A, section 11) and the Amesbury Zoning Bylaw, and after full consideration of the evidence presented, and upon the findings made in Section B of this Decision, the Board determined that the Project and hereinafter set forth a conditional Plan Approval for **Amesbury Heights**, a proposed 240 residential apartment complex consisting of five buildings (“**Project**”) at 36 Haverhill Road in Amesbury MA as shown on the approved Plan. Said Plan Approval is granted to the Applicant for the Premises described in the Application, further upon the conditions that follow:

#### **I. COMPLIANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS:**

The Project and all construction, utilities, roads, drainage, earth removal and filling and all related appurtenances with respect to the Project, shall comply with all applicable local, state and federal regulations except as waived specifically by this Decision. The Applicant shall be responsible for acquiring all other local, state and federal permits and approvals as necessary to construct the Project as approved by the Board. Final action on all other permits shall be submitted to the Board for record prior to start of any construction activity on the site. The Board notes that the following are some of the permits that may be needed for this Project prior to start of any construction activity:

1. Massachusetts Endangered Species Act, G. L. c. 131, § 23, 321 CMR 10.00.
2. Massachusetts Wetlands Protection Act and related regulations, G. L. c. 131, § 40-40A, 310 CMR 10.00, and the Amesbury Wetlands Ordinance and Regulations;
3. Massachusetts Department of Environmental Protection with respect to wastewater disposal, storm water disposal, resource protection, and water supply;
4. Environmental Notification Form or Notice of Project Change with Executive Office of Environmental Affairs under the Massachusetts Environmental Policy Act (G. L. c. 30, § 61-62H);
5. Commonwealth of Massachusetts Department of Transportation;

6. Commonwealth of Massachusetts State Sanitary Code.
7. U.S. Army Corps of Engineers, Section 404 of the Clean Water Act and, as applicable, Section 404(b)(1) guidelines that are established by the U.S. EPA;
8. NPDES Notice of Intent addressing NPDES Storm Water Pollution Prevention Plan, erosion control plan and stormwater management systems operations and maintenance plan under 310 CMR 10.00;
9. Massachusetts Public Shade Tree Act (G. L. c. 87);
10. Massachusetts Scenic Roads Act as adopted by the City of Amesbury, G. L. c. 40, §15c.
11. Massachusetts Historical Commission.

## **II. GENERAL AND IN PERPETUITY CONDITONS**

The Permit for the Project is granted subject to the following General Conditions:

1. **Allowed Use:** This Decision allows five (5) residential structures in the locations shown on the approved Plan. The Project shall be limited to two hundred forty (240) dwelling units, each of which shall be rental dwelling units, in five (5) residential buildings (Numbers 1 through 5) and a clubhouse as shown on the Plans. All dwelling units shall be used, and offered, for rental purposes only except as described herein. No dwelling unit shall at any time be made available for sale. The Project shall provide no less than 1.7 parking spaces per dwelling unit as shown on the Plans.
2. **Wetlands/Riverfront Construction Activity & Approvals:** This approval is contingent upon the issuance of an Order of Conditions by the Amesbury Conservation Commission (“Commission”) and its continuous validity until all improvements are complete per the Final Plans. The Decision of the Commission and all the conditions stated therein shall be included in this Decision by reference. In order to effectively coordinate and integrate the required observation and inspection reports for this project, the Board recognizes that the Plan(s) shown under the Notice of Intent Application (as revised) and the Order of Conditions, issued by the Commission, shall also be carried out to the satisfaction of the Commission or its agents. Also,

- a. Except as waived by a decision of the Commission, the construction of this project shall comply with the Amesbury Wetlands Ordinance and Amesbury Conservation Commission Regulations in effect at the time any building permit is sought for the project or for any jurisdiction for roadway-associated construction, and with all rules, regulations, filing and permit requirements and certifications of the Commission with respect to natural resource protection, construction of storm water management structures within the Buffer zone and their disposal, construction of other structures including retaining walls within the Buffer Zone, and wastewater disposal;
  - b. Any request for alteration to the Order of Conditions made by the Applicant to the Commission (or to Massachusetts Department of Environmental Protection (Mass DEP), upon appeal) shall be simultaneously provided to the Board. The proposed work shall comply with the "Order of Conditions" issued by the Commission upon the said premises;
  - c. The Order of Conditions from the Commission shall be carried out to the satisfaction of the Commission. Any violation of the Order of Conditions issued by the Commission shall be deemed to be a violation of this Approval, with all remedies to the City of Amesbury or the Board as provided by law.
3. **Project Plans:** The Project shall be constructed in substantial conformance with the following plans submitted to the Board (hereinafter collectively referred to as the "Plans"):
- a. 40R Approval Plans, consisting of fifteen (15) sheets, prepared by VHB, Inc., dated October 28, 2014, and revised plan sheet C-4.1, revision date March 30, 2015.
  - b. Plan of Land, consisting of one (1) sheet, prepared by Millenium Engineering, Inc., dated December 28, 2005;
  - c. Traffic Improvement Plans, consisting of thirty (30) sheets, prepared by VHB, Inc., dated October 28, 2014
  - d. Architectural Plans, consisting of twenty seven (27) sheets, prepared by David M. White, Architect, dated November 1, 2014; and revised plan sheets A.2 & A.13, revision date February 21, 2015

4. **Project Affordability:** This Permit shall satisfy the following:
  - a. This Permit is conditional upon the final approval of an Affordable Housing Restriction. The Project shall be subject to the provisions of Section XI.Q.6. All draft documents included in the Application per Section XI.Q.6 shall be revised in content as required for consistency with this Decision. The draft Affordable Housing Restriction shall be subject to review and approval by the Board and its legal counsel as to form and consistency with this Decision, said approval not to be unreasonably withheld;
  - b. Not less than twenty (25%) percent of the total number of dwelling units approved, i.e., no fewer than sixty (60) units (the “Affordable Units”), shall be reserved for rental to households earning no more than eighty percent (80%) of the area median household income of the Boston MSA as published by the Department of Housing and Community Development (DHCD), as revised;
  - c. No fewer than twenty-five (25) one bedroom, thirty-four (34) two bedroom and one (1) three bedroom units shall be deemed as affordable units. The affordable units shall be evenly distributed within the buildings and locus and shall be indistinguishable in architectural style, interior finish materials, and exterior appearance from market units. If the Project is phased, approximately 25% of the units in each phase will be Affordable Units; and
  - d. Each affordable unit shall be rented pursuant to a restriction ensuring that only income-qualified tenants are occupying the dwelling unit. An affordable housing restriction, enforceable by the City of Amesbury, requiring that the affordable units remain affordable in perpetuity and in a form approved by counsel for the City and DHCD, shall be recorded senior to any liens on any land or dwelling unit within the limits of the Project to protect the requirement for the affordable units in the event of any foreclosure, bankruptcy, refinancing or sale.
5. The Project, and all construction, dwelling units, utilities, roads, drainage, earth removal or relocation of structures and all related appurtenances with respect to the Project, shall comply with all applicable state and federal regulations. The Applicant shall promptly

provide the Board with copies of all permitting requests directed to any applicable state or federal agency and of all approvals or disapprovals received from any such agency.

6. Except as waived by this Decision:
  - a. The development of this Project, including the construction of all dwelling units, utilities, roads, drainage structures and other appurtenances, shall comply with the Amesbury Zoning By-Law in effect at the time of this Decision and Permit.
  - b. The development of this Project, to the extent applicable, including the construction of all dwelling units, utilities, roads, drainage structures, and other appurtenances, shall comply with the Amesbury Subdivision Rules and Regulations in effect at the time of this Decision and Permit.
  - c. The development of this Project, including the construction of all dwelling units, utilities, roads, drainage structures, and other appurtenances with respect to natural resource protection, construction of storm water management structures within the Buffer zone and their disposal, construction of other structures including retaining walls within the Buffer Zone, and wastewater disposal, shall comply with the Amesbury Wetlands By-Law in effect at the time of this Decision and Permit.
  - d. The development of this Project, including the construction of all dwelling units, utilities, roads, drainage structures, and other appurtenances, shall comply with the Amesbury Board of Health Rules and Regulations in effect at the time of this Decision and Permit.
  
7. **Inspections** - The Planning Board shall require the inspection of drainage, stormwater management structures, roadway, parking and other site improvements to ensure that the work is carried out in accordance with the Final Plans and to ensure that all improvements are in compliance with the conditions stated in this Decision. The Board shall require the establishment of a construction observation account and the Applicant shall provide the funds necessary for inspection by the Board's consultant prior to start of any construction activity. To the extent feasible, the Board will coordinate with the Commission to retain the same consulting group for construction observations;

8. **As-Built Plans and Repairs** - To ensure compliance with the terms and conditions of this Decision and any approval or order by any federal, state-agency, the Applicant shall submit plans with a certification from a Professional Engineer or Architect registered in the Commonwealth of Massachusetts that the Project "As-Built Plan" complies in all substantive respects with this Decision and any other approval or order by any federal, state or local agency. At the completion of each phase, an interim as-built plan shall be submitted for review and approval by the Board's agents. Any damage to public roads and walkways shall be promptly repaired and/or replaced to the satisfaction of the DPW Director and City Engineer;
  
9. **Final Release of the Performance Bond** - The request for final release of funds shall be submitted along with a report from the Board's construction observation consultant indicating that all work has been completed as per the Board's Decision and as shown on the Final Plans. Partial releases shall be allowed in amounts not less than fifty percent (50%) of the total initial surety bond amount held by the Board only after completion of all on and off-site improvements, except interior fit-out of units, as shown on the Final Plan. Final release of performance bond shall be made when all the following conditions have been met;
  - a) Memo from DPW that all off-site infrastructure improvements have been completed to the satisfaction of the City;
  - b) All City Department and the Board's inspectional engineer have recommended release of bond funds;
  - c) A copy of the Final Certificate of Compliance (CoC) from the Commission has been provided to the Board along with a final As-Built plan;
  - d) Upon completion of all off-site improvements and stormwater management system, submission of an "As-Built Plan" to the Board along with a written confirmation from a Registered Professional Engineer (P.E.), indicating that construction complies with the approved site plans and conditions of approval, including drainage and utility plans; and
  - e) All landscaping plant materials (trees, shrubs, etc) have survived two (2) growing season and that dead plants have been replaced as per Final Plans;

10. **Release of the Sedimentation and Erosion Control Bond:** Prior to release of any portion of the Sedimentation and Erosion Control bond, the Board shall verify with its construction observation Consultant and the Commission that the soils and slopes have stabilized and that there is evidence of healthy mature grass growing on slopes and lawns, and that all planting materials have survived two (2) growing season. Additionally, the Applicant shall request the Board's consulting engineer to verify that all work associated with the mitigation plan approved by the ACC has been complied on site to the satisfaction of the Commission.
  
11. **Post Construction Stormwater Maintenance:** There are several storm water management structures that need to function properly during construction and post construction phases. The operator of the stormwater management system shall submit monitoring and maintenance logs and reports for a period of two (2) years after issuance of Certificate of Compliance (CoC) from the Commission. The submission of these reports shall be made as per schedule identified in the final OM plan or at a minimum of two times in any twelve month period. The reports shall be submitted to the Board and the Commission within 10 days of the issuance of the inspection report by the operator or their agents;
  
12. **Police Detail** - The Applicant shall, if needed, pay for any police details along Haverhill Road for truck traffic and other activities associated with construction on the site and off-site improvements that require detours or re-direction of traffic for public safety;
  
13. **Certificate of Occupancy Permits:** Occupancy Permits may be requested only upon completion of all units located within one building/structure. Partially completed buildings shall not be eligible for any occupancy permits. Provided all applicable conditions stated in the Decision are satisfied, the first request for an occupancy permit shall only be accepted after the off-site Traffic Improvements as approved and required by the final MassDOT access permit have started. Occupancy Permit requests for only two buildings may be issued as these off-site traffic improvements are being made. No further occupancy permit requests shall be accepted or issued until written evidence is provided by the Applicant that all off-site improvements required by said MassDOT access permit have been completed

and to the satisfaction of that state agency. Temporary certificates of occupancy will not be permitted. The Fire Department will not accept requests for the occupancy permit until all required fire prevention and detection systems are installed and operating, carbon monoxide detectors are installed and operating, street signs and house numbers are in place and all required inspections have been completed by the Amesbury Building Inspections and Fire Departments.

14. **Maintenance of roadways and infrastructure** – The Applicant or his successor shall assume responsibility to maintain and repair the dwelling units and all common areas and associated on site infrastructure, including the stormwater management system, landscaping, ways, and other improvements within the Property. The City of Amesbury or its agents shall never have any legal or financial responsibility for operation or maintenance of driveways, parking areas, storm water management systems, snow plowing, landscaping, trash disposal or pick up, street lighting or other illumination, or other street infrastructure (excluding the connection to the water system and connection to the wastewater treatment system). This shall be noted in the Management documents as well as other legal documents associated with the project.
  
15. **Changes in Project Density or Design** - No further extension of the structures or change in the footprint or creation of any new dwelling units shall be allowed without further review and approval by the Board. Any change to the site plan or any of these conditions of approval, including, but not limited to, the building location, driveway locations, landscaping plans, architectural design criteria and the approved building construction materials, site improvements and finishes or to any recorded legal documents shall only be allowed after review and approval by the Board. Request for substantive revisions to the Final Plans shall be made as required under conditions pertaining to Site Plan Modifications in this Decision.
  
16. **Site Plan Modifications**: Substantive revisions to the Project or the Plans, such as relocation (except relocation within the building “envelopes” as proposed) or deletion of dwellings (except as specified in this Decision), material changes in unit architecture, style

or materials, relocations of more than one property line, relocation of the right of way, emergency access, changes that impact the Performance Standards under Section XI.Q or other substantive changes from the approved Plans shall not be permitted without the written approval of the Board. Prior to making such changes, the Applicant shall provide detailed information and plans along with a formal written request for modification to the approved Site Plan for determination of minor or major modification and approval by the Board. The Board shall, if it determines that any such changes are substantial, require the applicant to submit a new application for modification to the approved Site Plan and hold a new public hearing for review of the requested modifications;

17. **Validity:** This permit is contingent upon the issuance of an Order of Conditions from the Amesbury Conservation Commission in compliance with the Massachusetts Wetlands Protection Act and related regulations, G. L. c. 131, § 40-40A, and the Amesbury Wetlands Ordinance and Regulations or if said permit(s) is appealed, a subsequent issuance of a Super-ceding Order of Conditions from the Massachusetts Department of Environmental Protection (Mass DEP). Except for final approval of the access permit by MassDOT, this permit shall become final only upon the issuance of all other state and federal permits required to start any construction activity allowed per this permit. The Site Plan Approval shall expire upon the expiration of the final environmental permit, unless said permit(s) is extended by the permit granting authority.
18. **Environmental Compliance:** The Project shall comply with the provisions of Section XI.Q. 10.5.f – *Stormwater Management, Wetlands and Riverfront Areas* and the Order of Conditions as issued by the Amesbury Conservation Commission.
19. **Project Completion:** The Applicant shall complete construction, including but not limited to, all on-site and off-site improvements within five (5) years from the date this Permit becomes final, unless such time shall be extended in writing by the Board.
20. **Supplemental Document Review:** Where this Decision provides for the submission of plans or other documents to the Board, the Board shall review and provide a written

response as to whether such plans or other documents are consistent with this Decision within forty-five (45) days of the Board's receipt of such plans or other documents. The approval of the Board for such plans or documents shall not be unreasonably withheld. The Board may designate an agent or agents to review and approve such plans or other documents.

21. **Peer Review Services:** The Applicant shall pay peer review and legal expenses incurred by the Board and the City in evaluating the legal documents, plans or engineering documents required to be submitted by this Decision. The legal services or peer review shall be limited to the review of the submitted plans or documents to ensure conformance with this Decision and applicable state and federal permit decisions. These expenses will be deducted from the special account established by the City Treasurer for the Applicant on behalf of the Planning Board. Prior to any clearing, grading or construction, the Applicant must pay to the City, by certified check, \$12,000 as an advance deposit to cover at least a portion of these expenses. This estimated initial payment is based on 240 units at \$50 per unit. Applicant will pay any additional costs to the City as required; and if at any time the amount of the advance deposit is reduced below \$5,000, the Applicant, upon request, shall within five (5) business days pay to the City an amount sufficient to increase the amount of the deposit to \$5,000, and if the Applicant fails to pay such amount within such period all work on the project shall cease until such amount has been paid. Any excess remaining at the completion of the Project will be returned to Applicant.
  
22. **Inspection Services:** The Applicant shall pay inspection fees for inspections and testing during the construction of ways and installation of utilities and the stormwater management system in accordance with the inspection schedule set forth in the Amesbury Planning Board Subdivision Rules and Regulations Section 8.02 (A). The Board may appoint, in consultation with the Applicant, a third party consulting engineer to conduct such inspections. Further, except for building inspection, the Applicant shall pay for inspection of all site improvements, on the Final Plan as recorded. Prior to the commencement of work by a particular consultant, the Applicant shall pay the estimated

fees for the required work. No ground disturbance or clearing shall commence until all outstanding fees are paid and current.

23. **Earth Removal:** Nothing in this Decision permits the removal of sand or gravel from the locus as a sole commercial purpose or waives or modifies any local by-laws, rules, regulations or requirements with respect to the removal of sand or gravel from the locus as a sole commercial purpose not incidental to the development of the Project. The removal of sand and gravel necessary to construct the Project as shown on the Plans is allowed by this Decision.
24. **Emergency Access - Maintenance:** The emergency access to the development from Haverhill Road as approved by the Board on the Final Plans shall be gated and the Applicant or his assignees or successors shall be responsible for ensuring that it is always maintained, plowed and sanded through its entire length and upto Haverhill Road, including easement area on adjoining property to allow access by public safety officials.
25. **Architectural Design:** A design theme with a description of building features and materials has been submitted to the Board for approval per letter dated March 01, 2007 from the Project Architect, David White. The following elements shall be incorporated into the building designs and final architectural drawings to be submitted to the Board:
  - a. A base coursing of cultured stone will be installed on the Community building/club house below the siding.
  - b. Two over two double hung windows with Eastern casings. Building entry doors that echo the grillwork for the windows;
  - c. Wide overhangs with Victorian brackets at the corners;
  - d. 6" PVC corner-boards and a wide PVC horizontal band separating the shingles from the clapboards;
  - e. 12/12 roof pitch for the balconies and front gables;
  - f. A large PVC frieze band at the top of the building;
  - g. A two board PVC fascia detail which is not only on all the building eaves but extends around the rakes at all the gables;

- h. The use of varied exterior vinyl siding materials, shingles on the first floor to give the building a base, clapboards on the second and third floor, bead board siding at the fourth floor over the low roof, and fish-scale shingles in the gables over the balconies and entryways. The use of these different materials will be further highlighted by using different, but compatible, earth-tone colors for each material, as indicated on the rendered elevation;
  - i. Craftsman-style columns at the entryways;
  - j. Arched openings at the entryways and at the balconies to soften the building;
  - k. Architectural asphalt roof shingles;
  - l. The addition of the low roof between the third and fourth floors to soften the overall heights of the building and to give the illusion that the fourth floor is a dormer extending over the third floor;
  
26. The Applicant agrees that the City of Amesbury shall be free of any liability for any negligent acts or omissions by or of the Applicant, its employees, agents, subcontractors, beneficiaries or trustees with relation to this Project. The Applicant, on behalf of itself and its successors and assigns, further agrees to indemnify and hold harmless the Town of Amesbury, its employees and officials for any harm, damage, injury or loss caused by negligent acts or omissions of the Applicant, its employees, agents, subcontractors, beneficiaries or trustees with regard to the construction of this Project.
  
27. **As-built Plans:** To ensure compliance with the terms and conditions of this Decision and any approval or order by any federal or state agency, the Applicant shall submit to the Board complete and detailed Progress "As-Built" Plans with its request for a Certificate of Occupancy for any of the structures approved in this Decision, for the extent of roadway and associated infrastructure serving those dwellings for which certificates of occupancy are sought. Before release of the performance guarantee, the Applicant shall have prepared and submitted Final As-Built Plans, which shall indicate the actual locations of street line; traveled way edges; path locations; permanent monuments; inverts and location of required utilities and drainage; location of all underground utilities; and all building locations. The accuracy of such Final As-Built Plans shall be certified by a Land Surveyor or a

Professional Engineer, Registered in the Commonwealth of Massachusetts, retained by the Applicant. Any damage to public roads and walkways shall be repaired and/or replaced to the satisfaction of the Director of Public Works.

28. Normal water service pressure within the Project shall be a minimum thirty-five (35) psi under all conditions except fire flow. Available service pressure under peak water demand and fire flow conditions, including any additional development currently anticipated in the vicinity shall be demonstrated by use of the City's computerized hydraulic model.
29. Water system design and construction shall meet the requirements, standards and regulations of the Massachusetts Department of Environmental Protection's Guidelines and Policies for Public Water Supplies and as reviewed by Amesbury Department of Public Works.

## **II. PRIOR TO ENDORSEMENT OF PLANS**

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Other Non-local Permits:** Final action on all other non-local permits, approvals, extensions, as necessary, shall be complete and authorize/allow the proposed activity and associated improvements as shown on the approved Plans. If modifications were made to the approved Plans by other Agencies, these modifications shall be clearly indicated on plans and described in detail for the Board's review and approval.

## **III. PRIOR TO START OF ANY CONSTRUCTION ACTIVITY**

The Applicant shall file with the Board for review and for consistency with this Decision any documents and shall have completed the following actions:

1. The Applicant shall have received all necessary permits/approvals and provide copies of all applicable permits and approvals from local, state and federal agencies, departments or commissions to the Board, including but not limited to, those listed under Section D.1 of

this Decision, if applicable. The issuance of a MassDOT temporary access permit shall be acceptable to start construction activity on site pursuant to Final Plans approved by the Board;

2. The Applicant shall submit to the Board for review and final acknowledgement of consistency with this Decision, final and detailed site development plans (“Final Plans”) to the detail required for use as on-site construction drawings. All proposed roadway and utility construction; grading and appurtenant work shall be described in complete detail to readily enable peer review and construction. The Applicant shall file three (3) full-scale sets and fourteen (14) half-scale sets with the Board. Once the Final Plans are approved by the Board, the Applicant shall provide copies of the Final Plans in, both, paper and digital form to the Board, the Planning Department, and the Building Department. The Final Plans shall, at a minimum, include the following:
  - a. Final set of the Plans prepared by Registered P.E. and incorporating the conditions of this Decision and the conditions of relevant permits from applicable state or federal agencies;
  - b. Final and detailed landscaping plans prepared by a landscape architect registered in the Commonwealth of Massachusetts. Such plans shall include shade trees along streets, and shall specify the types, number, size and location of all proposed landscaping plants, trees and shrubs at the time of planting, the location and type of fence or other screening materials, plans and profiles of all planting and screening materials and details of any and all other proposed landscape materials. Such plans shall indicate the specific types of active/passive recreational equipment to be installed within the open space and recreational areas located on the approved plans. Slow release or organic nitrogen lawn fertilizers shall be used by the Applicant throughout the project to help limit the inputs of nitrogen to the groundwater;
  - c. A plan depicting the area subject to a Conservation Restriction as noted in Condition #6 below and walking trails. Trail networks shall be laid out along existing trails

allowing public access only to permanently protected open space and connecting to abutting conservation areas;

- d. A site-grading plan such that re-grading of the site shall not result in any finished slope exceeding 50 percent in cut and fill (2:1) as shown on the plans approved by the Board. Slope stabilization methods in addition to grass shall be utilized to the extent feasible. Design of the development shall preserve existing natural features to the maximum extent practical;
- e. A final and detailed Operation and Maintenance Plan for the storm water management system, as fully described in Condition #3 below;
- f. A plan showing the final roadway design plans and construction details. Complete development roadway profiles shall be provided for existing centerline and sideline grades, and proposed centerline grade. Roadway layout and profiles shall include properly labeled horizontal and vertical curves and stationing. The location of these facilities shall be identified in the layout plans;
- g. A plan showing final and detailed utilities plans and profiles including properly labeled drainage components and all site utilities including electric, gas, water supply lines, wastewater disposal connections and appurtenances and connections to the buildings indicating that all utilities servicing this Project shall be underground within the locus of the Project and to the detail required for use as on-site construction drawings and/or to obtain a building permit in accordance with the State Building Code, whichever requirement is more detailed. Proposed underground gas, electric, cable, and telephone service, shall be shown in cross-section on the way; utilities plan and construction details shall be provided;
- h. A detailed plan showing open areas, limit of construction activity, edge of clearing, sedimentation and erosion controls, a soil stockpiling area, snow storage area and construction staging, refueling and storage area(s);

- i. A plan showing all local zoning lines for reference purposes;
- j. A plan showing all necessary easements;
- k. A plan showing the location and design (including materials to be used) of all retaining walls to be used within the Project;
- l. A plan showing the location of all guard rails to be constructed within the proposed road system. All guard rails shall be constructed of timber. If required to meet safety standards that are not possible using timber, Corten “weathering” steel may be used;
- m. A plan showing the location and types of all street lighting fixtures. Street and parking lot lighting shall be allowed on free-standing poles not exceeding fourteen (14) feet in height from finished grade and light from these poles provided with cut-off shields along the facade when abutting buildings, if necessary and as determined by the Applicant;
- n. A plan showing the elevations of all proposed signs, including the entranceway sign. Only one (1) sign identifying the project shall be allowed on the site. The ground sign shall be located at entrance from Haverhill Road to not exceed the allowable square feet in area and installed in a landscaping stone wall, no more than 52 inches in height from finished grade and including total height of wall. Sign shall be set back no less than fifteen (15) feet from the property line along Haverhill Road. Sign shall be made of natural materials and lit indirectly. Final approval of the sign shall be subject to the Board’s approval;
- o. A snow storage and management plan protective of the resource areas as approved by the Commission;

- p. Traffic Improvements Plan: All traffic improvements shown on plan prepared by VHB dated October 28, 2014 shall be incorporated subject to final design approval by state and federal agencies. The City of Amesbury reserves the right to make comments on the proposed improvements, including widening of Haverhill Road in the vicinity of the project, signal timing, additional left turn lanes on Haverhill Road, traffic signs and the layout of the Rte 110 and Rte 150 intersection during the MEPA and Mass Highway review process.
3. **Stormwater Operation and Management Plan**: The Applicant shall provide the Board with a copy of the detailed Stormwater Operation and Management Plan for review and final acknowledgement of consistency with this Decision by the Board. The Plan shall include and, at a minimum, meet the following requirements:
- a. The Stormwater Management system and improvements shall be in accordance with the design performance requirements of the DEP Storm Water Management Policy and Handbook (Vols. 1 & 2) and Standards to the detail required for use as on-site construction drawings and to obtain approval under the Massachusetts Wetlands Act and the Amesbury Wetlands Protection Bylaw and Regulations except as waived by this Decision.. These plans and improvements shall be designed to show that there will be no increase in the rate of run-off from pre-development conditions or erosion impact on the abutting properties;
  - b. The Plan shall include, at a minimum, maintenance during and post construction as well as perpetual maintenance and monitoring of the roadway, roadway infrastructure and drainage systems (routine and seasonal). The Stormwater Operation and Maintenance Plan shall include specific tasks and timelines associated with inspection and maintenance of all proposed stormwater management structural and non-structural measures, as well as identify the owner and party responsible for inspection, operation, maintenance, repair, and replacement including certification of acceptance of legal responsibility for the afore mentioned. The Operation and Maintenance Plan shall bind the Applicant.

4. **Subdivision Plan**: The Applicant shall submit a recorded copy of the Form A - Application for APPROVAL NOT REQUIRED - Subdivision Plan to the Amesbury Planning Board showing the subject Property as shown on the Plans. This Decision shall not substitute for compliance with the Subdivision Control Law, G.L.c. 41, s. 81-L, et. seq. regarding the division of land into two or more lots nor shall this Decision substitute for the recording requirement of the Subdivision Control Law found at G.L. c.41, s.81-X.
  
5. **Emergency Access**: The emergency access road shall be constructed prior to the occupancy of any dwelling unit. The applicant shall provide the a final set of plans indicating the location and final design of the emergency access road, including storm water management design and a limit of grading and clearing, for review and final acknowledgement of consistency with this Decision. The proposed emergency access road shall serve only as an emergency access road and not as a primary access road. The road shall be designed to meet public health and safety requirements of the Fire Department, to minimize clearing and grading impacts to the hillside, and to manage stormwater runoff and erosion and sedimentation in accordance with the MA Stormwater Policy. The width of pavement on the emergency access road shall be no less than sixteen (16) feet and no more than 8% in slope. Any significant deviation from that alignment or in the width of pavement or clearing and grading may constitute a major project change.
  
6. **Conservation Restriction**: The Board shall review and approve, as to form and consistency with this Decision, a permanent Conservation Restriction with public access easement, and the Applicant shall record the same, clearly identifying the land areas noted on the Final Plans to be left in their current natural, undisturbed vegetative state for the maximum period allowed by law, with no provisions for site alteration, including but not limited to a prohibition on tree removal, land clearing and site grading of these areas. Documentation and proof of recording of the approved conservation restriction shall be provided to the Board.

7. **Easements**: A written submission shall be submitted to the Board describing all easements and covenants affecting the use of the subject Amesbury site, referring to such covenants and locating such easements on a site plan. The Applicant shall also submit to the Board any written or recorded instruments granting or agreeing to such easements and covenants. Easements shall be granted to the City of Amesbury over water and sewer infrastructure and appurtenances except for the watermain being installed by the Applicant.
8. The Applicant shall provide soil examination and testing as needed to ascertain the suitability of the design of the development, prior to the Board's approval of Final Plans.
9. **Construction Schedule**: The Applicant shall submit a detailed construction schedule identifying the sequence and timetable of all key stages of construction to the Board. This submission will include:
  - a. Identification of all contractors, field engineers, construction managers, surveyors, wetland and biology specialists, and other professionals that will be involved in the implementation of the Project;
  - b. Staking of driveways, dwelling foundations, parking areas, drainage basins and other drainage structures, and well(s) location(s);
  - c. Placement of sediment and erosion controls and limit of construction fencing;
  - d. Removal of vegetation and top soil;
  - e. Wetland mitigation installation;
  - f. Drainage system construction;
  - g. Major stages of roadway construction;
  - h. Excavating dates for building foundations;
  - i. Sewer line, water line and private utility installation;
  - j. Landscape installation and other site amenities; and
  - k. Proposed Inspection dates.
10. **Affordable Housing Restriction**: Two (2) copies of the recorded copy of the Affordable Housing Restriction, approved by the Board and fully executed shall be

submitted to the Board no later than December 31, 2015 or request for occupancy of any dwelling unit in the Project, whichever is earlier;

11. **Performance Surety:** The Applicant shall post with the Board, a bond or surety in an amount needed to stabilize the Property in the unlikely event that construction has ceased on the property prior to site clearing and grading being fully stabilized. Said bond or surety amount shall be based on an estimate of the cost, as approved by the Board or its authorized agent, to fully stabilize the site, assuming all proposed areas of alteration and grading have been disturbed. The bond or surety shall contain the following provision: “If the principal shall fully and satisfactorily observe and perform in accordance with the qualifications and time schedule set forth herein, as specified in all the covenants, agreements, terms and provisions as set forth in the Decision of the Board in this matter, as attached hereto, then this obligation shall be void, otherwise it shall remain in full force and effect, and, in the absence of completion of the work, the aforesaid sum shall be paid to the City of Amesbury in order to complete the construction in accordance with the plans and specifications.” Alternatively, prior to the issuance of any Certificate of Occupancy permit, the Applicant, after approval of the Final Plans, may construct and install the ways, utilities, pedestrian/bike paths, drainage, shade trees, hydrants and lights, and submit as-built plans for same, in accordance with the inspection and testing schedules and standards set forth in the Planning Board Rules and Regulations. Such construction and installation may be done in phases, subject to the prior approval of the Board, or may be completed in part and bonded in part as approved by the Board. The City of Amesbury agrees to partially release the performance bond in increments of \$50,000.00 or more upon completion of work required as approved by the Board. Prior to full surety release, satisfactory As-Built Plans showing completion of all site work, roadways and improvements as per plans of record shall be provided to the Board.
  
12. **Legal Documents:** The following documents shall be submitted to the Board and the Building Inspector:
  - a) **Documents Recorded at the Southern Essex Registry of Deeds:**
    - i. Planning Board Decision and Plan Set - A copy of this Decision and Approved Plan Set;

- b) Covenants and Restrictions: Legal Documents describing the following shall be submitted for review and approval:
    - i) On-site improvements: The approved light fixtures on the building and light poles in the parking areas, quantity and type of landscaping shrubs and plants, benches, property and dumpster fences, street furniture and other on-site improvements shall be maintained in perpetuity and no major changes shall be made without prior written approval of the Board. Repairs and replacement of any of these components shall be made in accordance with approved plans and as per the Board's Decision.
  - c) Covenant: A covenant shall be placed on the development or building(s) or other structures erected or placed on, or application for a building permit made with respect to any building/structure, until a Performance Guarantee and the Erosion Control and Sedimentation Bond have been established with the Board. This covenant is to be received by the Board prior to the commencement of any of the improvements approved and shown on the Plan and will remain in place until the Applicant posts a Performance Guarantee, which will be reviewed and approved by the Board, as stated in this Decision. The form of the Performance Guarantee, adequacy and or amount shall be reviewed and approved by the Board;
13. CAD Drawings - Three copies of all drawings and site plans as approved by Board shall be provided as Computer Assisted Drawings (CAD) on Compact Disks to the Board;
14. Final Plans: The final plans shall be amended to show the twenty (20) foot wide public access easement. The lighting plan shall be amended to include cut off- shield or use different light fixtures to maintain the photometric performance standard of 0.2 foot candles at the property line of the subject Parcel. Also a detail shall be added to the plan set showing that the pole height is no greater than fifteen (15) feet from the finished grade of the parking lot;

15. **Submission of Architectural Drawings:** A copy of the complete set of Final architectural elevations and floor plans shall be submitted to the Board for review and approval;
16. **Retaining Walls:** All retaining walls over four (4) feet shall be designed by a structural engineer and accompanied by supporting documentation indicating that the existing soils and fill are appropriate for the proposed design. Additional test pits and accompanying data shall be supplied with the retaining wall design and details, if necessary and requested by the City for review by the Board's Agent to establish consistency with Final Plans;
17. **Sedimentation and Erosion Control Bond** – The Applicant shall be required to post Surety with the Board for Sedimentation and Erosion to ensure that stormwater runoff management and erosion control measures are implemented on site as per Final Plans and other engineering drawings and to ensure that remedial actions can be taken to address any detrimental impacts from erosion and sedimentation during construction and until the stormwater management system is fully operational;
18. **Pre-Construction Conference** - At least five (5) business days prior to any initial site work, a Pre-Construction conference shall be held with the Applicant, Applicant's contractor, a representative of the Board, its consulting engineer, and representatives of the City Departments having an interest in the Plan. Said meeting shall be for the purpose of familiarization with the project, the conditions of approval, and the project's construction sequence and timetable;
19. **Request for Pre-construction Conference:** The request for a Pre-construction Conference shall be acted upon by the Board only AFTER the Board has received and reviewed ALL of the documents required per this Decision before start of any construction activity and has determined that the Project is ready to proceed to the construction phase. Upon authorization by the Board, its representatives shall schedule the Pre-construction Conference; and
20. The Final Plans shall be reviewed and accepted by the Fire Department and the Department of Public Works. Said approval shall not be unreasonably withheld. Hydrant

locations shall provide a 10-foot minimum separation from storm drains or other approved means of protecting the water supply from storm drains.

21. Prior to the commencement of any work at the site, an erosion control barrier (hay bales staked end to end and siltation fence firmly anchored with six (6) inches of soil on the uphill side) shall be installed in a location reasonably acceptable to the Commission or its representative. The erosion control barrier shall be inspected by the Commission or its representative prior to work commencing on the site and shall be maintained until all disturbed areas have been stabilized to the satisfaction of the Commission or its representative.
22. Limit-of-work construction fencing shall be installed in accordance with the Final Plan locations for the particular building lot.
23. The Applicant shall explicitly address, through the supplemental review and approval process and as part of submission of Final Plans to the Board any outstanding comments from the peer review consultants retained by the Board.

#### **IV. PRIOR TO MAKING REQUEST FOR A BUILDING PERMIT**

The Building Department shall not issue any Building Permit until receipt of an affirmative report from the Board stating that all conditions precedent to making application for Building Permit have been fulfilled, as per this Decision and to the satisfaction of the Board. Not later than the date on which the first request for a building permit is filed, and before any building permit is issued, the Applicant shall file with the Board for review and consistency with this Decision:

1. The Applicant shall provide proof that the Final Plans, as approved by the Board, have been recorded at the Registry of Deeds and three (3) copies of the Final Plan, exactly as it is recorded, shall be provided to the Board. At a minimum, the following sheets from the final set of approved plans shall be recorded - overall site plan, layout plan, grading and drainage plan, and utility plan.

2. The Applicant shall submit to the Board, the Building Department and the Fire Department, for review and final acknowledgement of consistency with this Decision, a complete set of final and detailed scaled architectural drawings (“Building Plans”), mechanical engineering drawings, plans and specifications, for all structures as approved by this Decision, including interior floor plans, current and finished elevations, construction type and exterior finishes to the detail required for use as on-site construction drawings and/or to obtain a building permit in accordance with the State Building Code. No structures (as defined by the Amesbury Zoning Bylaw) other than those shown on the Final Plans and approved by the Board are allowed on the Site. A Registered Architect or Professional Engineer shall stamp the Building Plans, as appropriate, licensed in the Commonwealth of Massachusetts.
3. The Building Plans shall include a Building Code Review prepared by a qualified third-party consultant who may be the Project Architect or a professional architect licensed in Commonwealth of Massachusetts to confirm the Building Plans meet the State Building Code.
4. The Building Plans shall identify the initial locations of the Affordable Units. The Applicant shall notify the Board of the change in location of these units, if and as it occurs, within two weeks of such change.
5. All dwelling units shall contain automatic fire detection sprinklers, installed in accordance with the State Building Code.
6. **Final Private Utility Layout:** The Applicant shall obtain all necessary private utility permits, including but not limited to gas pipeline, electric, telephone and cable service required by the respective utilities prior to the commencement of building construction. Documentation of all Permits/approvals issued by private utilities pertaining to the development of the Project shall be provided to the Board prior to any building construction.

7. The Applicant shall submit to the Board and for review and final acknowledgment of consistency with this Decision a Marketing Plan for the Affordable Units, such plan to conform to all affirmative action requirements or other requirements as imposed by federal or state regulations. Said plan shall give a preference to residents of the City of Amesbury to the maximum extent allowed by law for the rental of the Affordable Units.

#### **IV. DURING CONSTRUCTION**

The Permit for the Project is granted subject to the following Conditions:

1. **Stockpiles** - All earth stockpiles shall be established in locations as approved by the ACC or at a distance no less than fifty (50') feet from the edge of flagged wetlands boundary, whichever is greater. Earth material stockpiles shall not be allowed immediately adjacent to perimeter siltation barriers or drain inlets. Long term stockpiles over 30 days shall be shaped stabilized and circled by siltation fence and haybales and shall be stabilized by temporary seeding, sheeting or netting;
2. **Utility Trenches** - Utility trenches within the public Right of Way shall be saw-cut prior to excavation. Open trenches shall be backfilled with bank gravel and compacted to 95%. Trenches shall be paved with asphalt binder to a minimum depth of three (3) inches and overlaid curb to curb, on local roads maintained by DPW, to a minimum depth of one and half (1.5) inches. Water service trenches shall be infrared joint paved. The Director of DPW and the City Engineer shall have the final signoff on the right of way improvements and any change to these standards or those shown on approved plans shall be subject to their review and approval;
3. **Erosion Control and Stormwater Maintenance Requirement:** The Applicant's designee or assignee shall on a quarterly basis submit interim reports and supporting documents to the Board showing that requirements for stormwater system maintenance are being adhered according to the approved SWPPP. Submissions shall be made no later than 10 days from the date of issuance of said reports.

4. **Construction Activities** - During construction, the following conditions shall be met:
- a. The Applicant and its agents and employees shall conform to all local, state and federal laws regarding noise, vibration, dust and use of City roads and utilities. The Applicant shall at all times use all reasonable means to minimize inconvenience to residents in the general area and maintain safe and adequate vehicular access on Haverhill Road. Construction shall not commence on any day Monday through Saturday before 7:00 AM. Construction activities shall cease by 6:00 PM Monday through Friday and by Noon on Saturday. No construction or activity whatsoever (except for interior finishing) shall take place on Sunday;
  - b. With the exception of land clearing, grading and site disturbances minimally necessary to construct the proposed entranceway and the emergency access to the Project, no land clearing, grading or site disturbance of any kind shall occur within 50 feet of any property boundary of land not owned by the Applicant or existing dwelling unit on any adjacent property, whichever is farther.
  - c. All dwelling units shall be built by the Applicant, and its agents or contractors who shall exercise supervision and control over said construction and be responsible for the Project to be built in accordance with this Permit and the Affordable Housing Restriction. During construction, the name and mobile telephone number of the site manager or clerk of works employed by the Applicant shall be filed with the Building Department, the Board, and the Amesbury Police Department, and such name and mobile telephone number shall be kept current.
  - d. All stumps, brush, and other debris resulting from any clearing or grading shall be removed from the locus. No stumps or other debris shall be buried on the Property;
  - e. The Applicant shall keep the site and the adjoining existing roadway area clean during construction. Upon completion of all work on the Site and prior to Final As-Built approval, all debris and construction materials shall be removed and disposed of in accordance with state laws and regulations.
  - f. Construction, once commenced, shall progress through to completion as continuously and expeditiously as practical and in accordance with the construction sequence and timetable approved subject to delay incurred as a result of conditions beyond the control of the Applicant or acts of God and *force majeure*.

- g. Construction equipment shall not be parked or stored within fifty feet (50') of any drainage channel, drainage inlet, or wetland area. Maintenance of construction equipment involving transfer of fluids and fuels shall be conducted in areas away from drainage channels and inlets and wetland buffer areas. Contractor's on-site personnel shall immediately notify the City of any hazardous material spill, regardless of size.
- h. All areas to be protected from encroachment from construction shall be marked on the ground as shown on the Final Plans and the Applicant throughout the construction phase of the project shall maintain these barriers.
- i. Excavation dewatering shall be in a workman-like manner and such water shall be free of suspended solids before being discharged into either a wetland or any storm water drainage system. This condition applies to all forms of dewatering including pumping and trenching. No direct discharge to the wetlands is allowed. Such discharge shall be consistent with the Applicant's Notice of Intent.

#### **V. PRIOR TO MAKING REQUEST FOR AN OCCUPANCY PERMIT**

The Building Department shall require the applicant to submit a letter from the Board and as-built plans along with a request for Certificate of Occupancy for any unit stating that all conditions precedent to making application for Occupancy Permit have been met. The Building Department shall not issue any Occupancy Permit for any unit or structure shown on the plan until receipt of an affirmative report from the Board stating that all conditions have been fulfilled as per this Decision and to the satisfaction of the Board. The Permit for the Project is granted subject to the following Conditions Prior to Occupancy Permit:

1. The Applicant shall prepare management documents in a form that conforms to this Decision and applicable law, designed to manage the Project and ensure that the terms and conditions of this Decision are enforced and submit them to the Board for review. The Board requires that the management documents identify, at a minimum, who the day-to-day responsible parties will be, in case of an on-site emergency, and plans for day-to-day and periodic on-site maintenance. The Management documents, which shall be on file with

the Amesbury Planning Department and the on-site Property Management and Leasing office, shall, at a minimum, contain the following:

- a. A specific plan for operation and maintenance of the dwelling units, common areas and all other improvements shown on the recorded plans;
  - b. A specific plan to maintain drainage facilities, storm water basins and appurtenances. This plan should incorporate provisions of the Storm water Operation and Maintenance (O&M) Plan as approved by the Board and a certification shall be provided by the Management company or agent(s) acknowledging their responsibility to implement the Storm water O&M Plan as approved;
  - c. A specific plan to maintain roads, including snow removal, spring clean- up, repair of road surface and resurfacing as needed. The road and roadway infrastructure excluding the water system and private-utility-company systems, are to be privately owned and maintained by the Project in perpetuity;
  - d. A specific plan to maintain, and periodically replace, any dead or unhealthy plants, shrubs and other landscaping proposed within the Project;
  - e. Such documents shall provide for and include a comprehensive set of rules and regulations governing conduct of tenants, residents, and their invitees upon the site, without limitation, a) noise control rules, b) prohibition on parking of resident or visitor-owned commercial vehicles, c) prohibition on i) parking or storing of motor vehicles, boats, trailers, or other property on the main roadway and ii) on parking or storing such vehicles, boats, trailers, or other property in any other parking space, unless fully contained with such space.
2. No certificate of occupancy for any building shall be issued until the improvements specified in this Decision and set forth in the plans of record are constructed and installed as per this Decision and to adequately serve said building, or adequate security has been provided, reasonably acceptable to the Board, to ensure such completion.
  3. **Certification of Improvements** – The Applicant shall submit a letter and As-built plans as required by this Decision to the Building Inspector from the Board verifying that

conditions of approval have been met and that construction to date is per the approved plans; and

4. **Landscape Installation** - All site improvements, including landscaping and street trees shall be completed and installed as per Final Plans. The Landscaped Architect for the project shall submit a certification that the trees, shrubs and screening plants have been installed as per approved Final plans;

*Chair, Amesbury Planning Board*

**EXHIBITS:**



**Memorandum**

To: City of Amesbury Planning Board

Date: October 30, 2014

Project No.: 09407.02

From: Conor Nagle, PE

Re: Project Narrative & Performance Standards  
40-R application – Amesbury Heights  
36 Haverhill Rd, Amesbury, MA

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**PROJECT NARRATIVE**

Corcoran Jennison Associates, Inc. (the “Proponent”) is proposing to construct Amesbury Heights Multi-family Residential Development (the “Project”), located on a 26.4-acre site on Route 110 (Haverhill Road) approximately 1,000 feet west of the intersection with Route 150 in Amesbury, Massachusetts (the “Project Site”). See Figure 1 for the site location. The Project will consist of a residential development with 240 units including 25% affordable units (60 affordable units), a centrally located clubhouse, “village green” and associated amenities.

The Project Site is bounded by Haverhill Road and abutting commercial properties to the north, Interstate 495 to the south, wetlands to the east, and single family residential dwellings to the west. The majority of the Site is currently zoned Office Park with a small portion zoned residential. The entire site is within the Amesbury Gateway Village 40R Smart Growth Overlay District (AGVSGOD). A large portion of the Project Site was formerly occupied by a gravel mining operation and currently is unused, disturbed and underutilized. The Project Site centers on a large hill, the apex of which has been excavated during the former gravel mining operations. See Figure 2 Aerial Photograph. The primary site access sweeps down the east side of the hill toward Route 110. The Project Site is a varied mix of grass, brush, and woods including a significant amount of invasive species of shrubs. Figure 3 shows the existing conditions site plan.

The proposed residential development would consist of five (5) four-story buildings with 48 apartments each totaling 240 units, a centrally located clubhouse, a “village green” and associated amenities. The clubhouse and amenity center houses the management and maintenance offices, a show unit, fitness facility and outdoor swimming pool. In addition, a sidewalk will provide connectivity and pedestrian access to downtown Amesbury. The proponent proposes to provide 60 affordable units. This amounts to 25% of the total and exceeds the minimum requirements of Chapter 40B, and the Decision of the Amesbury Zoning Board in relation to the Project, which require no less than 20% of the total number of units will be affordable units as defined by M.G.L. Chapter 40B, Section 20 (Regional Planning – Low and Moderate Income Housing). The apartments will include a mix of 1-, 2- and 3-bedroom units. The buildings are arrayed around the edges of parking lots, landscaped areas, and the clubhouse facility and associated “village green”. The main access roadway follows the alignment of the former gravel haul road to the intersection with Route 110 to the north. An emergency access to Route 110 would be provided approximately 750-feet west of the main access.

The City of Amesbury, on its own initiative, has developed a M.G.L. Chapter 40R (Smart Growth Zoning and Housing Production) district that includes the Project Site. In accordance with the guidelines set forth in Chapter 40R, the 40R Ordinance has established target densities for the individual areas represented within the project area. The current concept is consistent with the zoning overlay map. Figure 4 shows the proposed site conditions for the Project.

In 2007 the Project underwent a thorough local and state review process and received the permits listed below. Each of these permits has been extended by application to the appropriate issuing authority and is still valid.

Permit	Permit Authority	Issue date
Comprehensive Permit	ZBA	15-Mar-07
Order of Conditions	Conservation Commission	14-Aug-07
Sewer Connection	DEP	12-Feb-07
MEPA Certificate	EOEA	15-May-07

#### 40R DEVELOPMENT AND PERFORMANCE STANDARDS

The AGVSGOD statute includes a number of Development and Performance Standards for projects seeking approval under 40R. During the initial municipal review, the development plans were significantly revised. The initial alternative of nine (9) buildings and all parking at grade was set aside in favor of the current five (5) building concept to preserve open space by reducing the total area of site alteration and impervious area. This was further enhanced by providing parking garages beneath three (3) of the buildings. The remainder of the parking would be surface parking on the Project Site. In addition, building footprints were reduced by adding to the building heights, thereby allowing the preservation of a significant portion of the existing open space and vegetative buffers to adjacent neighbors.

It is our belief that the current proposal, having undergone a detailed municipal review, including peer review of both traffic and stormwater design, meets the standards set forth in the statute, as outlined below:

##### a. Access and Traffic Impacts

As mentioned previously, the Project will consist of a residential development with 240 units (60 affordable), a centrally located clubhouse, "village green", and associated amenities. The main access roadway follows the alignment of the former gravel haul road to the intersection with Route 110 to the north. An emergency access to Route 110 would be provided approximately 750-feet west of the main access. The Project Site is well positioned with convenient access to the regional highway system. While the Project traffic will result in minimal impacts to the surrounding roadways, significant improvements and mitigation measures are proposed.

The following narrative has been prepared to address standards outlined in the Amesbury Zoning Bylaw – 2012, specifically section 10.5(a)(2) Traffic Impact Statement, which states: *"In each case where more than 15 residential units are being proposed or a new commercial building(s) of more than 3,000 square feet total floor area is proposed, or where any proposed enlargement of a building would result in a building have more than 3,000 square feet total floor area, a traffic impact statement shall be prepared containing the following information:*

##### *a. A detailed assessment for the traffic impacts of the proposed project or use on the carrying capacity of any adjacent highway or road(s) and associated intersection;*

**Response:** VHB evaluated the traffic impacts associated with the Project in a detailed traffic impact and access study (TIAS) prepared in March 2006 as part of the local permitting process. The TIAS was

reviewed by the City of Amesbury, a peer review consultant (Conley Associates, Inc.), as well as MassDOT, and is attached to this document for reference.

Based on VHB's knowledge of the area and the development of typical traffic impact and access evaluations, the following intersections were included in this assessment:

- Route 110 (Haverhill Road)/Middle Road – unsignalized
- Route 110 (Haverhill Road)/North Martin Road – unsignalized
- Route 110 (Haverhill Road)/Route 150 (Hillside Avenue) –signalized
- Route 150 (Hillside Avenue)/I-495 Southbound Ramps – unsignalized
- Route 150 (Hillside Avenue)/Hunt Road– unsignalized
- Route 150 (Hillside Avenue)/I-495 Northbound Ramps – unsignalized

The existing conditions evaluation consisted of an inventory of the traffic control; roadway, driveway, and intersection geometry in the study area; the collection of daily and peak period traffic volumes; and a review of recent vehicular crash history.

The proposed development is estimated to generate approximately 125 trips (25 entering/100 exiting) during the morning peak hour and 150 trips (100 entering/50 exiting) during the weekday evening peak hour. These vehicle trips were distributed based on the year 2000 US Census journey-to-work data for the Town of Amesbury. Based on the analysis, it is estimated that approximately 57 percent of the site-generated trips are expected to use Route 110/Haverhill Road to/from the east. An estimated 12 percent would use Route 150/Hillside Avenue to/from the north. Approximately 20 percent would use I-495 to/from the south while 5 percent would use I-495 to/from the north. Approximately 6 percent would use local roadways including Route 110 to/from the east, Middle Road and Route 150 Extension to/from the south.

Capacity analysis indicates that the site generated traffic would not have a significant impact at a majority of the study area intersections. The analysis also shows that at the intersection of Route 110 and Route 150, there is adequate capacity to accommodate the site traffic. However, the Proponent is proposing improvement measures, as appropriate, in the area to improve on existing deficiencies that have not been addressed over the years. These improvements, as well as other proposed mitigation are outlined in response to section (b) below.

Overall, the TIAS concluded that the proposed residential development will not result in a significant traffic impact through the study area. With the addition of the proposed enhancement measures, traffic flow within the area will be improved.

***b. A plan to minimize traffic and safety impacts through such means as physical design and layout concepts, promoting use of public transportation, or other appropriate means; and,***

**Response:** While the existing roadways and intersections can accommodate the expected site-generated traffic, mitigation measures have been developed to allow Project-generated traffic to move to and from the Project Site more safely and efficiently while minimizing impact to the study area and improving some of the existing deficiencies. Proposed mitigation measures include:

- Provide a sidewalk from the main entrance to the Project Site to the intersection of Routes 110 and 150.
- Restripe the eastbound and westbound approaches to provide a left-turn lane in each direction at the Route 110 at Route 150 intersection. Restriping will also include crosswalks to connect existing and proposed pedestrian facilities.
- Modify the traffic signal timing and phasing to optimize flow at the Route 110 at Route 150 intersection. Upgrades to traffic signal equipment will be made as necessary to implement the proposed changes.

- Providing stop control pavement markings and signage at the intersection of Route 110 and Martin Road. Striping will also be added to more clearly delineate the travel way at this intersection.

These potential mitigation measures were discussed with the Massachusetts Department of Transportation in a meeting with project representatives in September 2006 as well as discussions with the City of Amesbury during the local review process. The plans currently at the 75% design level. Comments from MassDOT on the 75% design plans are currently being addressed and the plans are progressing to 100% design level.

**c. *An interior traffic and pedestrian circulation plan designed to minimize conflicts and safety problems.***

**Response:** As shown on the Site Layout Plan, two-way vehicular circulation is provided via 24-foot drive aisles throughout the site. In addition, an extensive sidewalk network is proposed for the site. Sidewalks are provided to connect each of the five residential buildings and the clubhouse. In addition, crosswalks have been provided throughout the parking area. The on-site sidewalk network also travels along the site driveway all the way up to Route 110, where it connects to the proposed sidewalk from the site to Route 150. This will provide a connection between the site and existing pedestrian/bicycle facilities used to access the downtown area and available public transit opportunities.

**b. Parking**

The Project will provide a parking ratio of 1.71 parking spaces per residential unit, within the min/max range required by zoning. The spaces meet the dimensional criteria, both for size and setbacks.

**c. Landscaping**

The site landscape design, sheets C-7.1 – C-7.3, meets the intentions of the performance standard by:

- providing buffers to property lines;
- maintaining large areas of existing vegetation;
- providing visual screening, including fencing of storage areas;
- All planting materials will be native drought-tolerant species.

**d. Open Space**

Greater than the required 30% of the Project Site will remain as open space. Approximately 10.9 acres will be deeded as a conservation restriction.

**e. Building Design**

The proposed apartment buildings and club house have been designed to meet the performance standards. See Architectural plans by David M. White included in this application.

**f. Stormwater Management, Wetlands and Riverfront Areas**

During the initial municipal review the project received an Order of Conditions from the City of Amesbury Conservation Commission, and underwent a detailed peer review of the stormwater and environmental resource design.

Wetland resources within the Project Site include Riverfront Area, Bordering Vegetated Wetlands, Intermittent Stream Bank and Isolated Freshwater Wetlands. The Bordering Vegetated Wetlands that will be impacted by the Project were created during the gravel pit operation apparently to help control drainage on the site. The Bank to be relocated is associated with a constructed ditch that was once used to drain stormwater from the top of the site to the natural wetland areas along the eastern property boundary. Soils within and along the bank of the entire ditch are devoid of topsoil and are not currently stabilized, thus resulting in erosion problems in downgradient wetland resource areas. Soils within the federally regulated wetlands have typically been disturbed by activities associated with the gravel mining operation, are devoid of topsoil and contain sedimentation deposits which restrict permeability. The

Project was designed to minimize potential impacts related to the surrounding natural resources by developing mostly within previously altered areas while preserving the natural wooded buffers along the perimeter. Consideration was also given to eliminating historic impacts associated with stormwater runoff tributary to the abutting properties. The existing intermittent stream channel (ditch) would be relocated, or replicated, around the development footprint within the Project Site. Other wetland impacts will be replicated on the Project Site using a proposed minimum of 2:1 area replication.

In compliance with the Massachusetts Stormwater Management Policy, The Project was designed to minimize potential impacts related to the surrounding neighbors, natural resources and stormwater runoff by developing mostly within previously altered areas while preserving the natural wooded buffers along the perimeter. This Project would mimic the existing stormwater patterns at the Project Site integrating a variety of both traditional and low impact development stormwater best management practices into the design. These features would include bioretention basins and swirl separators to remove sediments and extended detention basins to reduce peak discharges. Stormwater runoff will be recharged to the extent feasible. The stormwater management report has been completed for Phase 1 and is included in Appendix B. A comprehensive Stormwater Management Plan will also be developed for Phase 2 to control the peak rate of runoff, enhance water quality and control soil erosion and sediment migration.

**g. Erosion Control**

Both construction phase and long term erosion controls will be employed to protect the surrounding natural resources. A detailed Erosion Control plan is included in the plan set provided. Additionally, as the Project is greater than one acre, both the Owner and Contractor will be required to file a Notice of Intent for Construction Activities with the EPA and put in place and adhere to a Stormwater Pollution Prevention Plan (SWPPP). As required in the Order of Conditions, the construction will be overseen by a Professional Engineer to observe compliance and prepare weekly reports for the Conservation Commission.

**h. Water Quality**

The stormwater design, as approved by the Conservation Commission, includes several low impact Best Management Practices (BMPs) to promote groundwater recharge. These include bioretention basins and vegetated swales in addition to more traditional structural BMPs such as sediment forebays and detention basins. Each BMP includes stormwater treatment prior to recharge to groundwater.

**i. Hazardous Material and Explosive Materials**

The storage, use, transportation or removal of hazardous waste is not anticipated from the Project. Should such activities be required they will be completed in a manner consistent with the specifications of the City of Amesbury Fire Department and all state and federal regulations.

**j. Lighting**

Lighting will be in accordance with the requirements of the 40R ordinance. Light poles shall not exceed 18ft for parking areas and 12 feet for pedestrian walkways. Off-site illumination is not anticipated and in no instance shall exceed 0.2 foot candles, as required.

**k. Environmental Performance Standards**

No emissions, vibrations or odors as outlined in the performance standard are anticipated as a result of this Project.

**l. Noise**

As a residential development noise in excess of the standards outlined in the performance standard are not anticipated as a result of this Project.

**m. Utilities**

The Project will be served by municipal water and wastewater services. Mitigation for the sewer flow added to the municipal system will be made in accordance with the Town's and DEP requirements and Inflow/Infiltration policies. A DEP sewer connection permit was issued in 2007.

Electric, telephone, cable TV and other such utilities will service the project underground from existing roadway utilities.

**n. Signs**

Signage will comply with the performance standard. A signage detail is included in the plan set, sheet C-8.5

**o. Shadows**

The project is situated such that it will not cast shadows on existing buildings between 9:00am and 3:00pm (EST) from February 21<sup>st</sup> to October 21<sup>st</sup>.

**p. Universal Access**

It is the Proponent's intention to comply with all applicable universal access codes.

Design plans, a traffic report and a stormwater report are included in this application, and illustrate the Project's compliance with the performance standards as outlined above.

# Site Plans

Issued for: **40R Approval**

Date Issued: October 28, 2014

Latest Issue: October 28, 2014

## Index

No.	Drawing Title	Latest Issue
C-1	Legend and General Notes	10/28/2014
C-2	Overall Site Plan	10/28/2014
C-3	Wetland Impacts and Erosion Control Plan	10/28/2014
C-4.1-4.2	Layout Plan	10/28/2014
C-5.1-5.2	Grading and Drainage Plan	10/28/2014
C-6.1-6.2	Utility Plan	10/28/2014
C-7.1-7.2	Landscape Plan	10/28/2014
C-8.1-8.5	Site Details	10/28/2014
C-9	Detention Basin Profiles	10/28/2014
C-10	Entrance Drive Profile	10/28/2014
C-11	Emergency Access Drive Profile	10/28/2014
C-12	Utility Profiles	10/28/2014
C-13	Utility Profiles	10/28/2014
C-14	Typical Utility Sections	10/22/2014
C-15	Easements Plan	10/28/2014
C-16	Snow Storage Plan	10/28/2014
C-17	Construction Staging Plan	10/28/2014
C-18	Wetland Replication Planting Plan	10/28/2014
<b>Reference Drawings</b>		
S-1	A Subdivision of Land	10/29/2007
	Plan of Land by Millennium Engineering, Inc.	6/25/2006
	Haverhill Road Offsite Improvements (17 Sheets)	10/28/2014

# Amesbury Heights

36 Haverhill Road  
Amesbury, Massachusetts



Site Location Map

## Property Information

**Owner:**  
**Boston North Properties, LLC**  
98 Elm Street  
Salisbury, MA 01952  
978-462-6543 (t) 978-499-0760 (f)

**Applicant:**  
**Corcoran & Jennison Companies**  
150 Mount Vernon Street  
Boston, MA 02125  
617-822-7350 (t)

**Assessor's Map: 86**  
**Lot: 25 and 47**

**Architect:**  
**David M. White**  
403 Tibbets Hill Road  
Goffstown, NH 03045  
603-497-3405 (t) 603-497-2783 (f)

**Surveyor:**  
**Millenium Engineering, Inc.**  
62 Elm Street  
Salisbury, MA 01952  
978-463-8980 (t) 978-499-0029 (f)

**Management Company:**  
**Corcoran Jennison Companies**  
150 Mount Vernon Street  
Boston, MA 02125  
617-822-7350 (t)

**Environmental Consultant:**  
**Wetlands Preservation, Inc.**  
47 Newton Rd.  
Plainbow, NH 03865  
603-382-3435 (t) 603-382-3492 (f)



**Vanasse Hangen Brustlin, Inc.**

Transportation  
Land Development  
Environmental Services

101 Walnut Street, P.O. Box 9151  
Waltham, MA 01901  
617-994-1770 • FAX 617-994-7286







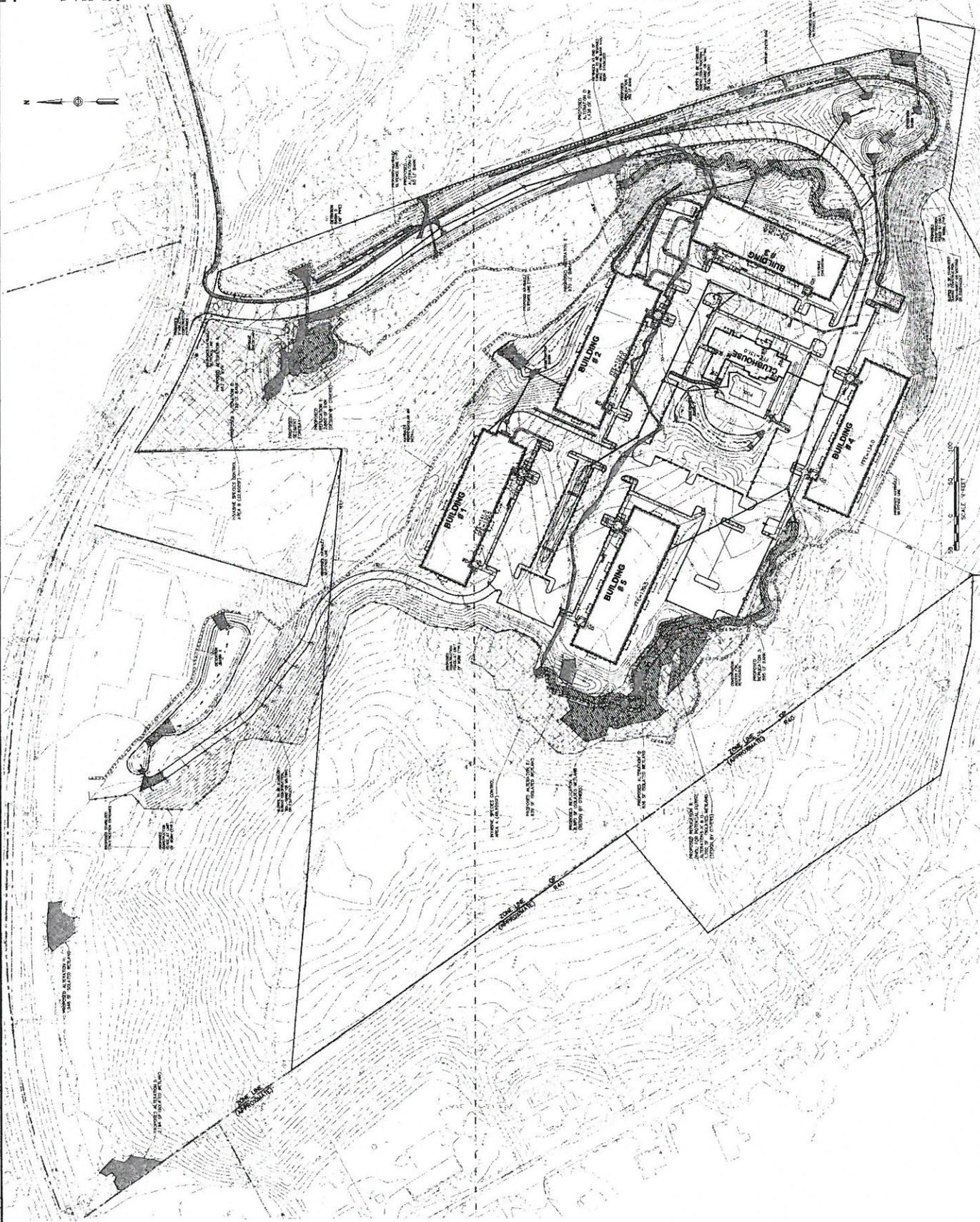


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2	10/20/14	ISSUED FOR PERMITTING
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9	10/20/14	ISSUED FOR PERMITTING
10	10/20/14	ISSUED FOR PERMITTING

**Amesbury Heights**  
 36 Haverhill Road and  
 Martin Road North PRR  
 Amesbury, Massachusetts  
 40R Approval

Not Approved for Construction  
**Wetland Impacts and  
 Erosion Control Plan**

**C-3**  
 10/20/14  
  
 10/20/14



Vinnasse Hengen Braslin, Inc. 100 Highland Ave., Ste. 1151, Worcester, MA 01607  
 617-941-1700 • FAX 617-941-2366

**Sign Summary**

Sign Number	Width	Height	Desc.
SP-1	36"	36"	STOP
SP-2	18"	18"	STOP
SP-3	18"	18"	STOP

**Zoning Summary Chart**

County District	City	Zone	Permitted
Worcester	Worcester	R-1	Single-Family Detached
Worcester	Worcester	R-2	Single-Family Detached
Worcester	Worcester	R-3	Single-Family Detached
Worcester	Worcester	R-4	Single-Family Detached
Worcester	Worcester	R-5	Single-Family Detached
Worcester	Worcester	R-6	Single-Family Detached
Worcester	Worcester	R-7	Single-Family Detached
Worcester	Worcester	R-8	Single-Family Detached
Worcester	Worcester	R-9	Single-Family Detached
Worcester	Worcester	R-10	Single-Family Detached
Worcester	Worcester	R-11	Single-Family Detached
Worcester	Worcester	R-12	Single-Family Detached
Worcester	Worcester	R-13	Single-Family Detached
Worcester	Worcester	R-14	Single-Family Detached
Worcester	Worcester	R-15	Single-Family Detached
Worcester	Worcester	R-16	Single-Family Detached
Worcester	Worcester	R-17	Single-Family Detached
Worcester	Worcester	R-18	Single-Family Detached
Worcester	Worcester	R-19	Single-Family Detached
Worcester	Worcester	R-20	Single-Family Detached
Worcester	Worcester	R-21	Single-Family Detached
Worcester	Worcester	R-22	Single-Family Detached
Worcester	Worcester	R-23	Single-Family Detached
Worcester	Worcester	R-24	Single-Family Detached
Worcester	Worcester	R-25	Single-Family Detached
Worcester	Worcester	R-26	Single-Family Detached
Worcester	Worcester	R-27	Single-Family Detached
Worcester	Worcester	R-28	Single-Family Detached
Worcester	Worcester	R-29	Single-Family Detached
Worcester	Worcester	R-30	Single-Family Detached

**Parking Summary Chart**

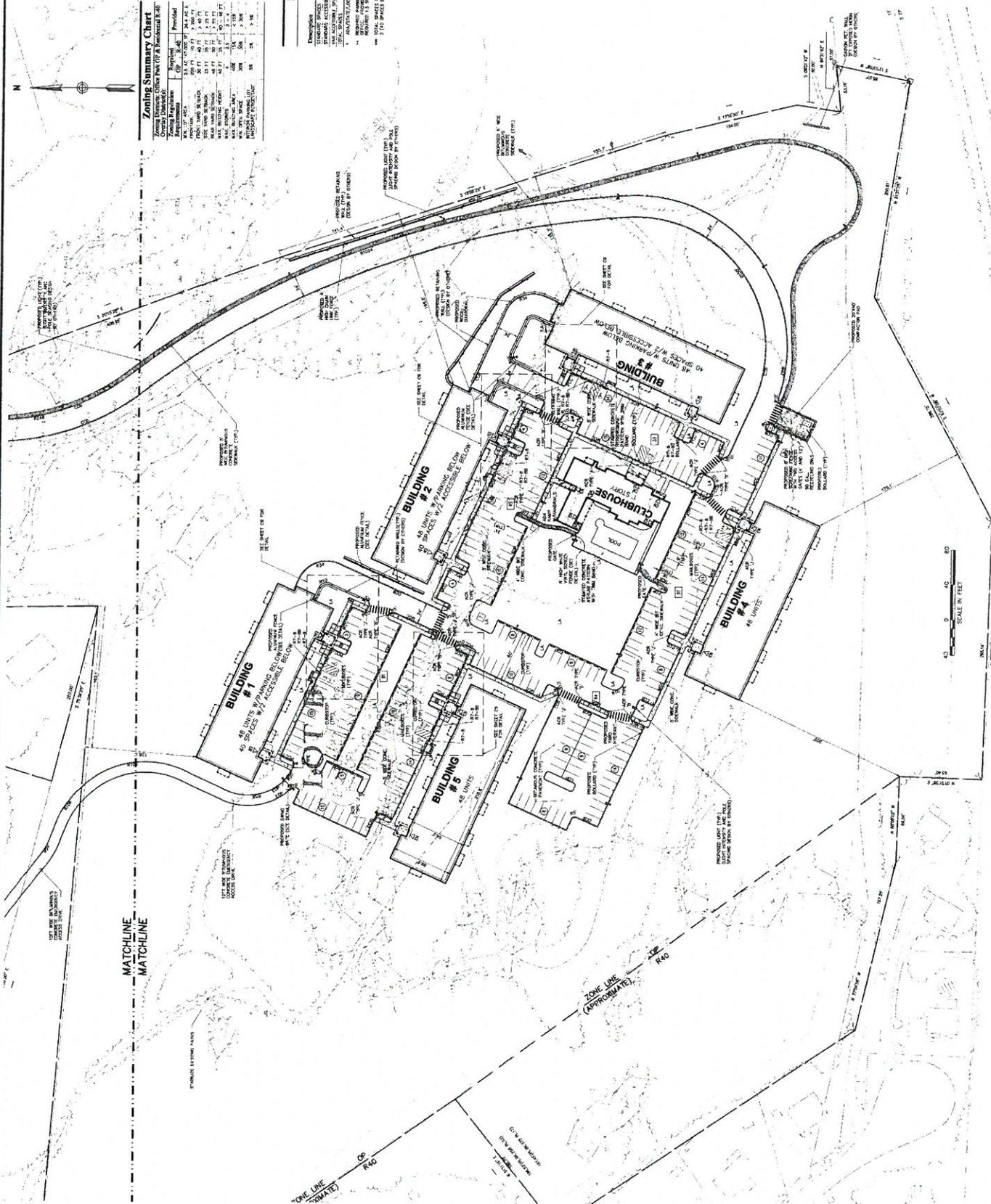
Description	Size	Spaces
STANDARD SPACES	9' x 18'	100
STANDARD ACCESSIBLE SPACES	9' x 18'	10
TOTAL SPACES		110

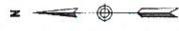
MANUFACTURER'S REQUIREMENTS:  
 1. ALL SPACES SHALL BE 9' x 18' IN SIZE.  
 2. ALL SPACES SHALL BE 9' x 18' IN SIZE.  
 3. ALL SPACES SHALL BE 9' x 18' IN SIZE.  
 4. ALL SPACES SHALL BE 9' x 18' IN SIZE.  
 5. ALL SPACES SHALL BE 9' x 18' IN SIZE.

Item	Quantity	Unit	Notes
Asphalt	1000	SQ YD	FOR DRIVEWAYS
Concrete	500	CY	FOR FOUNDATIONS
Rebar	100	LB	FOR FOUNDATIONS
Gravel	2000	CY	FOR DRIVEWAYS
Excavation	100	SQ YD	FOR DRIVEWAYS
Backfill	100	SQ YD	FOR DRIVEWAYS
Drainage	100	LF	FOR DRIVEWAYS
Lighting	100	HP	FOR DRIVEWAYS
Signage	100	HP	FOR DRIVEWAYS
Landscaping	100	HP	FOR DRIVEWAYS
Site Work	100	HP	FOR DRIVEWAYS
Permitting	100	HP	FOR DRIVEWAYS
Construction	100	HP	FOR DRIVEWAYS
Inspection	100	HP	FOR DRIVEWAYS
Final	100	HP	FOR DRIVEWAYS

**Amesbury Heights**  
 36 Havethill Road and  
 Merritt Road North RR  
 Amesbury, Massachusetts  
 40R Approval

Not Approved for Construction  
 Layout Plan





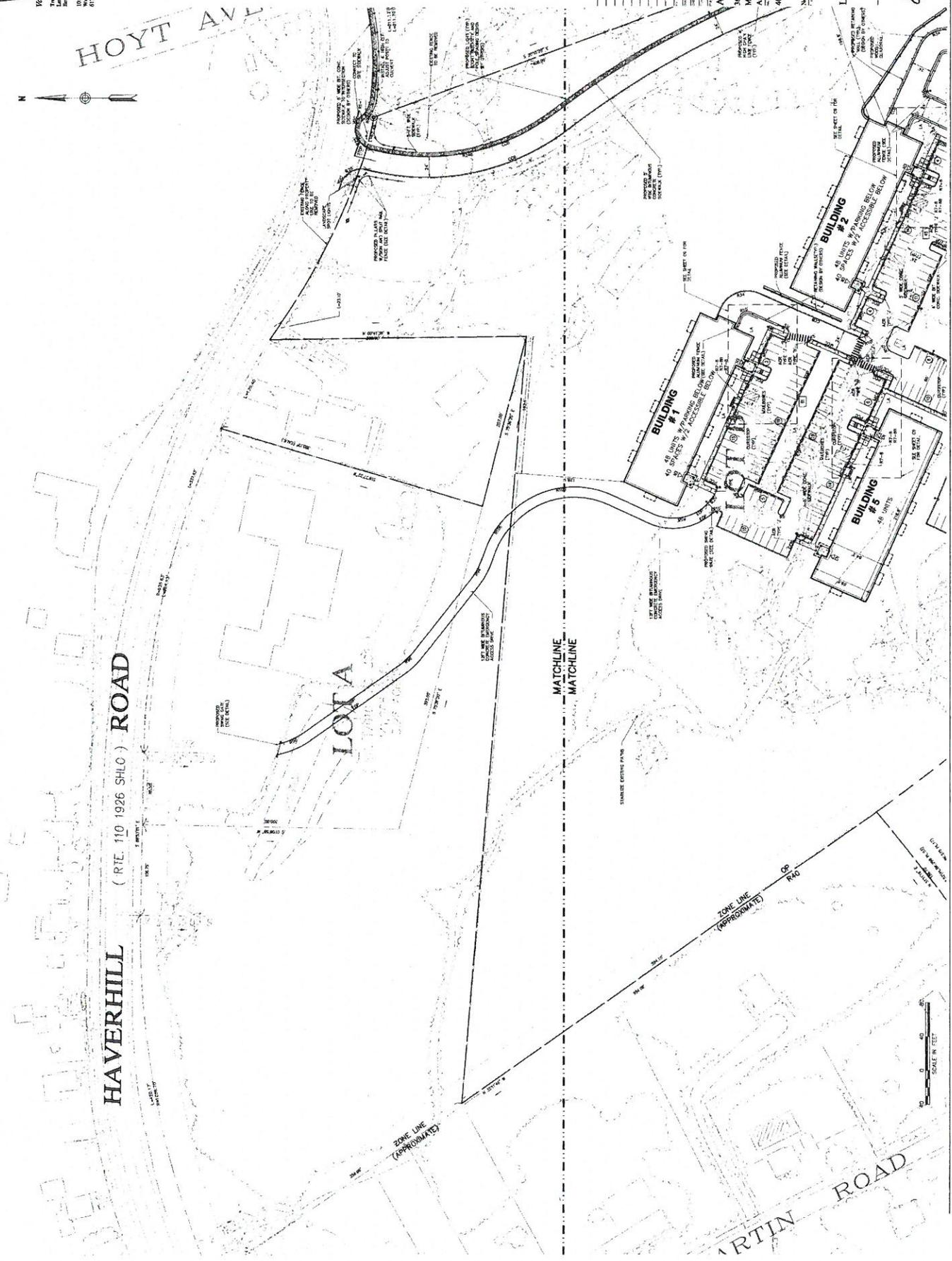
HOYT AVE

HAVERHILL (RTE. 110 1926 SHLC) ROAD

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MATCHLINE  
MATCHLINE

MARTIN ROAD



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Amesbury Heights  
 36 Haverhill Road and  
 Martin Road North RR  
 Amesbury, Massachusetts  
 40R Approval  
 Not Approved for Construction

Layout Plan

C-4.2

SCALE IN FEET  
 0 10 20 30 40 50





**NOTE:**  
 1. UTILITY SERVICE CONDITIONS SHALL BE PROVIDED FOR EACH SERVICE. PROVIDERS TO BE PROVIDED IN ACCORDANCE WITH RELEVANT REGULATORY AGENCIES.

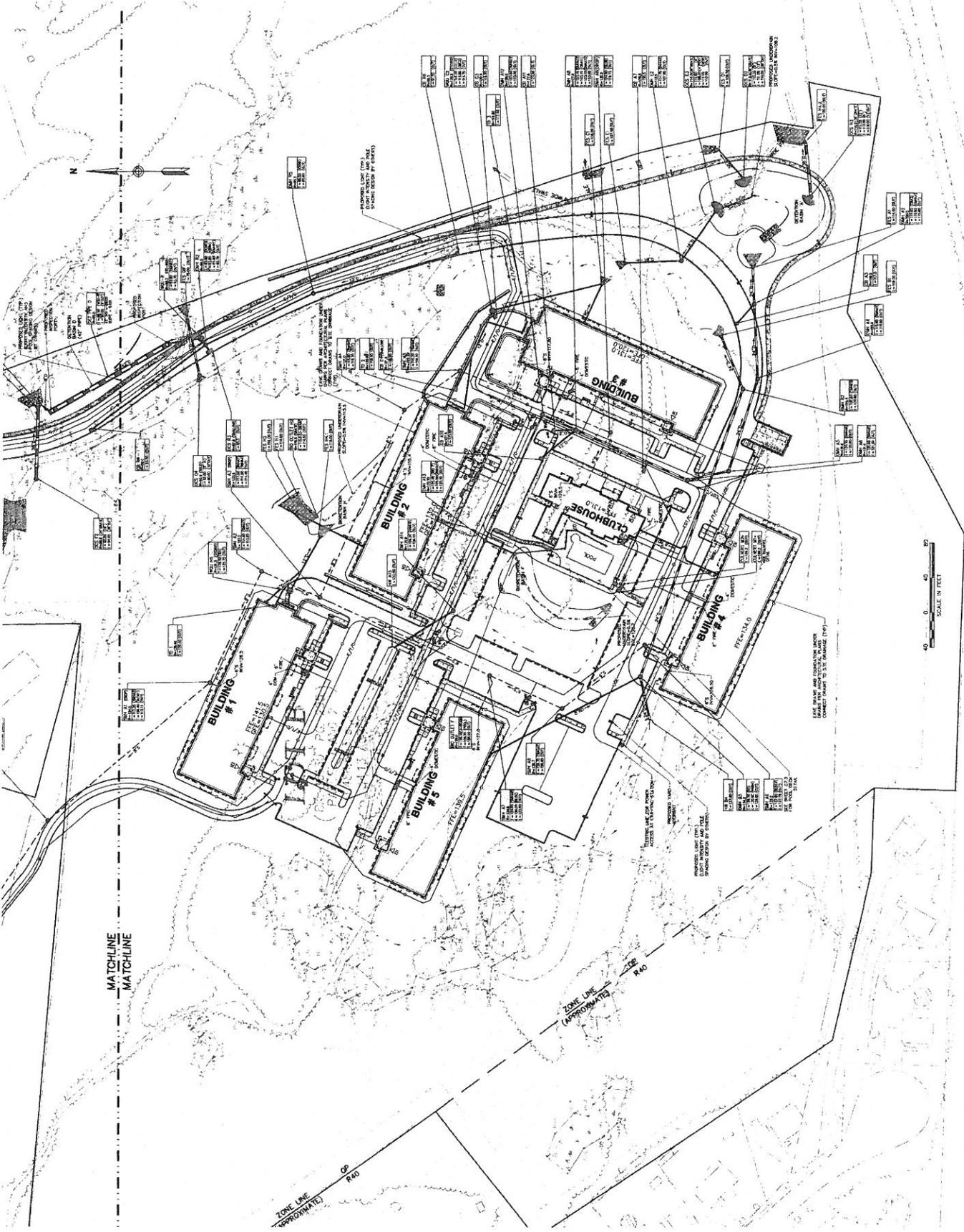
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10	10/20/10	ISSUED FOR PERMIT

**Annebury Heights**  
 36 Henshill Road and  
 Marsh Road, North Ferr  
 Amherst, Massachusetts  
 40% Approval

Not Approved for Construction

Utility Plan

**C-6.1**  
 SCALE: 1" = 40'  
 DATE: 10/20/10  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 PROJECT NO.: [Number]







**PLANT LIST**

QTY	SYMBOL	DESCRIPTION	DATE
1	1	1" DBL. CROWN ARBORVITAE	11/24/11
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1	100	1" DBL. CROWN ARBORVITAE	11/24/11

**CONSTRUCTION SCHEDULING SCHEDULE**

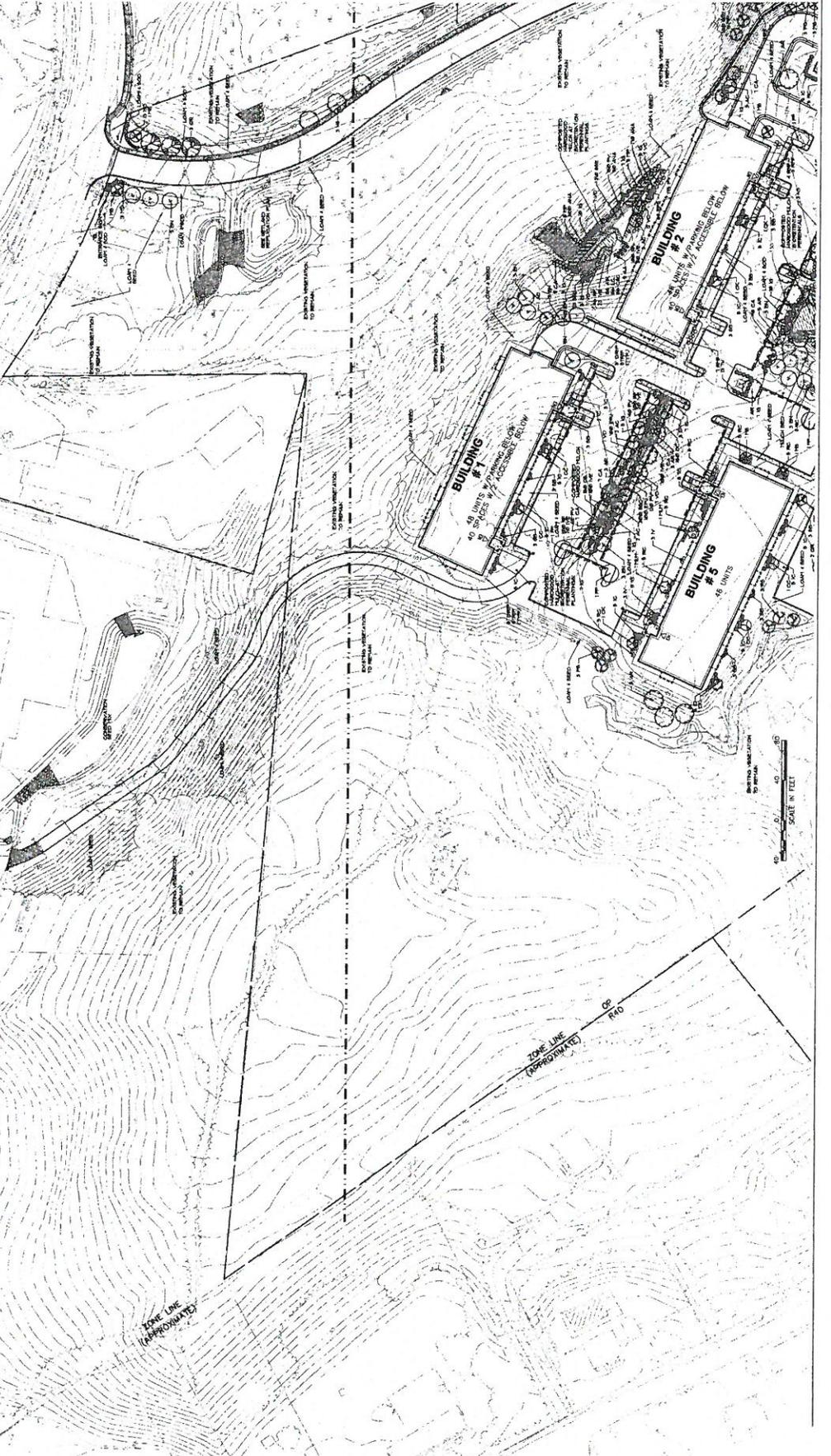
ACTIVITY	START DATE	END DATE	STATUS
1. SITE PREPARATION	01/15/12	02/15/12	COMPLETE
2. FOUNDATION	02/15/12	03/15/12	COMPLETE
3. FRAMING	03/15/12	04/15/12	COMPLETE
4. ROOFING	04/15/12	05/15/12	COMPLETE
5. INTERIOR FINISHES	05/15/12	06/15/12	COMPLETE
6. EXTERIOR FINISHES	06/15/12	07/15/12	COMPLETE
7. MECHANICAL/ELECTRICAL/PLUMBING	07/15/12	08/15/12	COMPLETE
8. LANDSCAPING	08/15/12	09/15/12	COMPLETE
9. FINAL INSPECTION	09/15/12	10/15/12	COMPLETE

**LANDSCAPE NOTES**

1. ALL PROPOSED PLANTING LOCATIONS SHALL BE MARKED BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
2. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
3. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
4. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
5. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
6. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
7. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
8. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
9. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
10. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.

**PLANTING NOTES**

1. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
2. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
3. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
4. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
5. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
6. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
7. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
8. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
9. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.
10. ALL PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS.

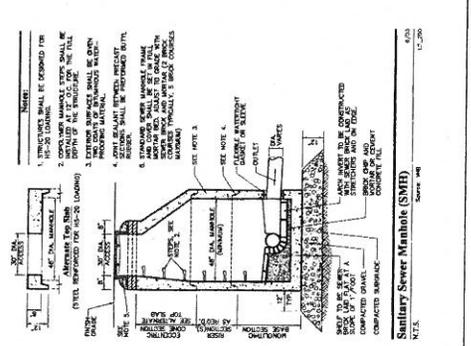
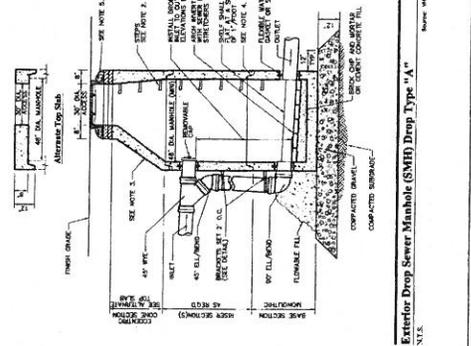
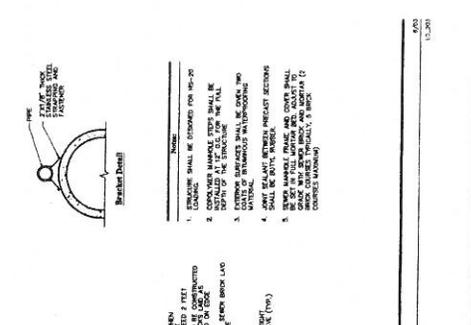
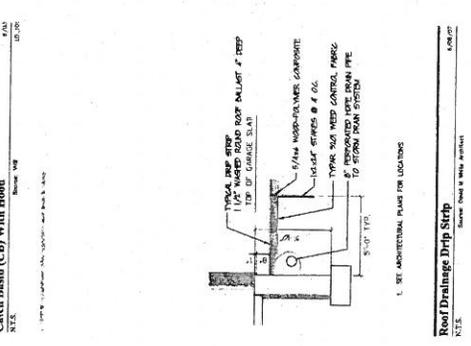
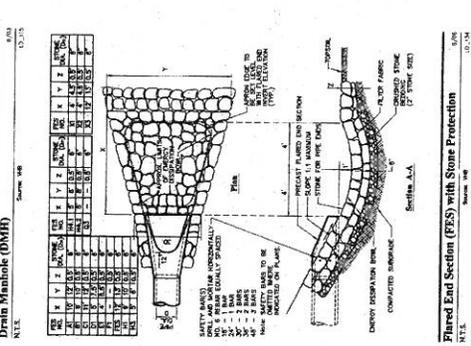
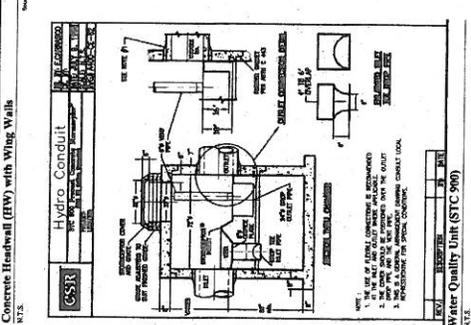
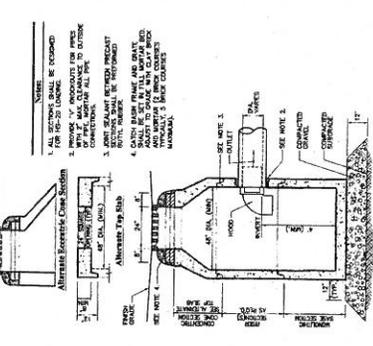
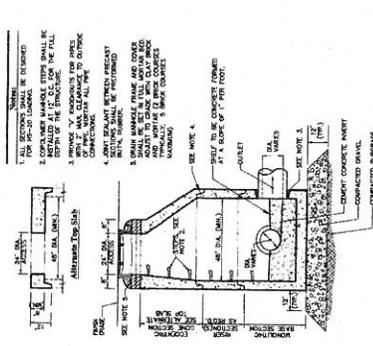
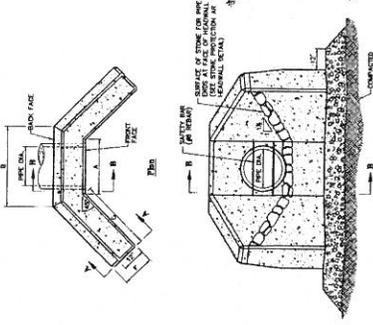


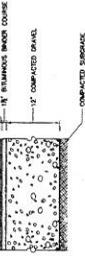
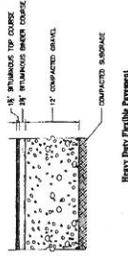
NO.	DATE	DESCRIPTION
1	11/24/11	ISSUED FOR PERMIT
2	11/24/11	ISSUED FOR PERMIT
3	11/24/11	ISSUED FOR PERMIT
4	11/24/11	ISSUED FOR PERMIT
5	11/24/11	ISSUED FOR PERMIT
6	11/24/11	ISSUED FOR PERMIT
7	11/24/11	ISSUED FOR PERMIT
8	11/24/11	ISSUED FOR PERMIT
9	11/24/11	ISSUED FOR PERMIT
10	11/24/11	ISSUED FOR PERMIT



**Dimensional Table**

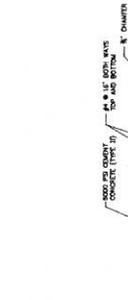
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NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

**Bituminous Concrete Pavement Sections**  
N.T.S. 12.44



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. SIZE OF CONCRETE PAD TO BE AS INDICATED ON PLAN.  
2. CONSTRUCTION JOINTS SHALL BE SPACED AT MAXIMUM 10 FEET ON THE LENGTH AND WIDTH OF THE PAD.  
3. CONCRETE SHALL BE PLACED IN ONE LIFT.  
4. CURB CONCRETE SHALL BE 1.5" COMPACTED SUBGRADE.

**Concrete Pad**  
N.T.S. 12.272



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. CURB SHALL BE 4" HIGH AND 4" WIDE AT TOP AND BOTTOM.  
2. CURB SHALL BE 1.5" COMPACTED SUBGRADE.  
3. CURB SHALL BE 1.5" COMPACTED SUBGRADE.  
4. CURB SHALL BE 1.5" COMPACTED SUBGRADE.

**Monolithic Concrete Curb (MCC) & Sidewalk**  
N.T.S. 12.213



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. CURB SHALL BE 4" HIGH AND 4" WIDE AT TOP AND BOTTOM.  
2. CURB SHALL BE 1.5" COMPACTED SUBGRADE.  
3. CURB SHALL BE 1.5" COMPACTED SUBGRADE.  
4. CURB SHALL BE 1.5" COMPACTED SUBGRADE.

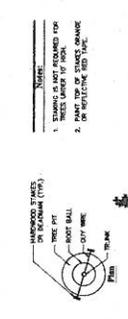
**CAPR CDD BERM**  
N.T.S. 12.422



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. CURB SHALL BE 12" HIGH AND 12" WIDE AT TOP AND BOTTOM.  
2. CURB SHALL BE 12" COMPACTED SUBGRADE.  
3. CURB SHALL BE 12" COMPACTED SUBGRADE.  
4. CURB SHALL BE 12" COMPACTED SUBGRADE.

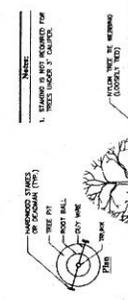
**SHI Fence / Hay Bale Barrier**  
N.T.S. 12.477



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

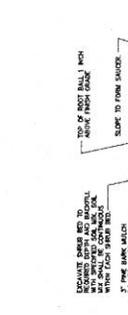
**Evergreen Tree Planting**  
N.T.S. 12.241



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

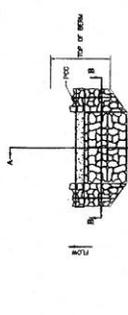
**Tree Planting (For Trees Under 4" Caliper)**  
N.T.S. 12.242



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

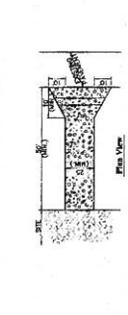
**Shrub Bed Planting**  
N.T.S. 12.236



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

**Level Spreader**  
N.T.S. 12.421



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

**Stabilized Construction Exit**  
N.T.S. 12.423



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

**Amesbury Heights**  
N.T.S. 12.241



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

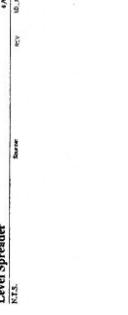
**Tree Planting (For Trees Under 4" Caliper)**  
N.T.S. 12.242



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

**Shrub Bed Planting**  
N.T.S. 12.236



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

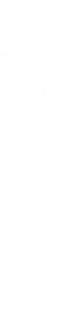
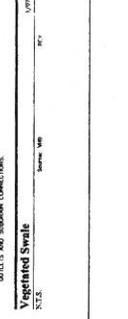
**Level Spreader**  
N.T.S. 12.421



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

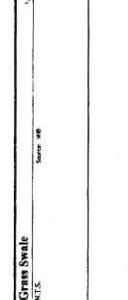
**Stabilized Construction Exit**  
N.T.S. 12.423



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

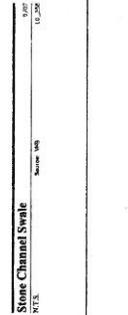
**Vegetated Swale**  
N.T.S. 12.241



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

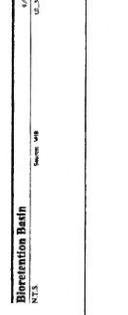
**Vegetated Swale**  
N.T.S. 12.241



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
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3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

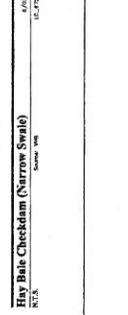
**Vegetated Swale**  
N.T.S. 12.241



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

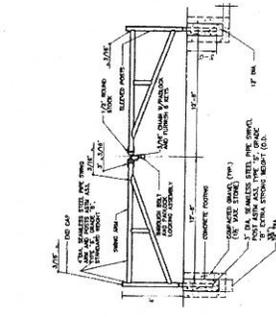
**Vegetated Swale**  
N.T.S. 12.241



NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
PROJECT: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_

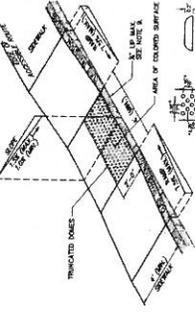
1. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
2. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
3. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.  
4. STANDARD IS NOT REQUIRED FOR THIS SIZE OF CALIPER.

**Vegetated Swale**  
N.T.S. 12.241



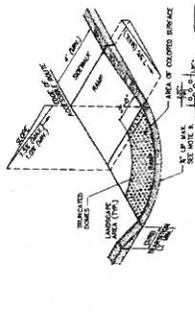
**Swing Gate (Double)**  
 N.T.S. Source: VHB

1. SHIP FRAME PAINT (EPOXY-BASED)
2. 3,000 PSI CONCRETE FOOTING



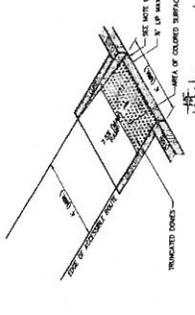
**Accessible Curb Ramp (ACR) Type 'A'**  
 N.T.S. Source: VHB

1. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:8 FOR WALKWAYS.
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:12 FOR WALKWAYS.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:20 FOR WALKWAYS.
4. A MINIMUM OF 2 FEET CLEARANCE SHALL BE MAINTAINED AT ALL PERMANENT OBSTACLES IN THE WALKWAY.
5. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
6. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
7. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
8. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
9. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
10. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.



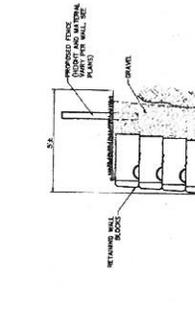
**Accessible Curb Ramp (ACR) - Type 'B'**  
 N.T.S. Source: VHB

1. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:8 FOR WALKWAYS.
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:12 FOR WALKWAYS.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:20 FOR WALKWAYS.
4. A MINIMUM OF 2 FEET CLEARANCE SHALL BE MAINTAINED AT ALL PERMANENT OBSTACLES IN THE WALKWAY.
5. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
6. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
7. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
8. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
9. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
10. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.



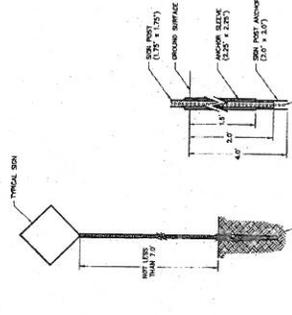
**Accessible Curb Ramp (ACR) Type 'J'**  
 N.T.S. Source: VHB

1. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:8 FOR WALKWAYS.
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:12 FOR WALKWAYS.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:20 FOR WALKWAYS.
4. A MINIMUM OF 2 FEET CLEARANCE SHALL BE MAINTAINED AT ALL PERMANENT OBSTACLES IN THE WALKWAY.
5. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
6. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
7. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
8. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
9. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
10. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.



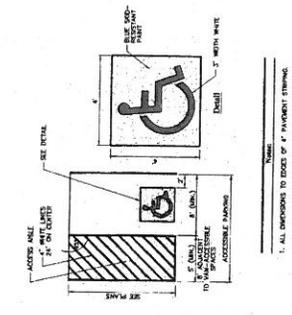
**Modular Block Retaining Wall**  
 N.T.S. Source: VHB

1. WALL SURFACE SHALL BE FINISHED TO MATCH THE FINISH OF THE RETAINING WALL SURFACE.
2. IF BLOCKS ARE APPROVED EQUAL.



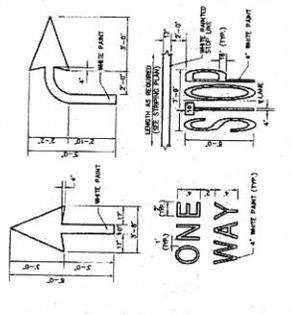
**Sign Post - Type 'B'**  
 N.T.S. Source: VHB

1. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.



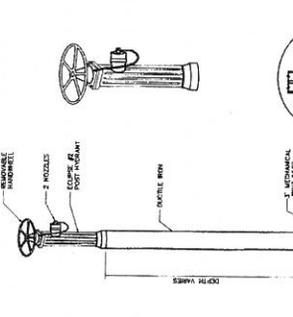
**Accessible Parking Space**  
 N.T.S. Source: VHB

1. ALL DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.



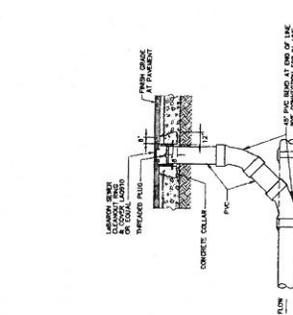
**Painted Pavement Markings - On Site**  
 N.T.S. Source: VHB

1. PAINTED MARKINGS SHALL BE INSTALLED TO MATCH THE FINISH OF THE PAVEMENT SURFACE.



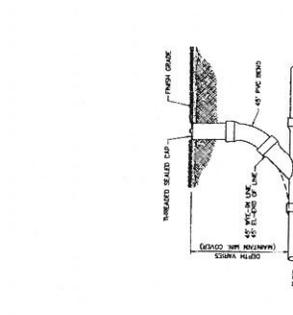
**Yard Hydrant**  
 N.T.S. Source: VHB

1. HAND CRANK SHALL BE FINISHED TO MATCH THE FINISH OF THE RETAINING WALL SURFACE.



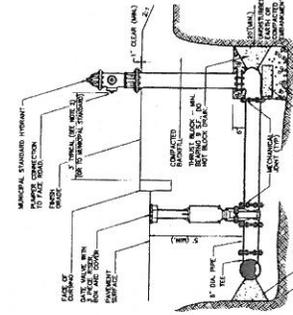
**Chasms - Paved Area**  
 N.T.S. Source: VHB

1. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:8 FOR WALKWAYS.
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:12 FOR WALKWAYS.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:20 FOR WALKWAYS.
4. A MINIMUM OF 2 FEET CLEARANCE SHALL BE MAINTAINED AT ALL PERMANENT OBSTACLES IN THE WALKWAY.
5. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
6. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
7. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
8. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
9. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
10. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.



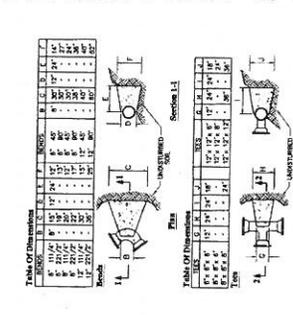
**Chasms - Landscape Area**  
 N.T.S. Source: VHB

1. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:8 FOR WALKWAYS.
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:12 FOR WALKWAYS.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE RAMP CROSS SECTIONS SHALL BE 1:20 FOR WALKWAYS.
4. A MINIMUM OF 2 FEET CLEARANCE SHALL BE MAINTAINED AT ALL PERMANENT OBSTACLES IN THE WALKWAY.
5. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
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7. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
8. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
9. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.
10. CURB TREATMENT SHALL BE PLAIN FOR CURB TYPE.



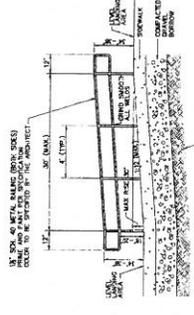
**Hydrant Construction**  
 N.T.S. Source: VHB

1. CONCRETE SHALL BE 3,000 PSI TYPE I.
2. HYDRANT SHALL BE 4\"/>



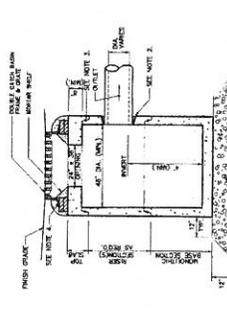
**Concrete Throat Block**  
 N.T.S. Source: VHB

1. CONCRETE SHALL BE 3,000 PSI TYPE I.
2. THROAT BLOCK SHALL BE 4\"/>



**Head Rail**  
 N.T.S. Source: VHB 13.330

**NOTE:**  
 1. THIS RAIL IS TO BE USED IN CONJUNCTION WITH THE STANDARD WINDSTOPPER RAIL SYSTEM.  
 2. REFER TO STANDARD DETAIL FOR DETAIL CONSTRUCTION.

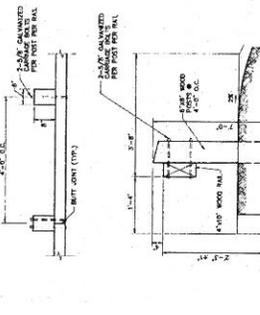


**Double Grate Catch Basin (DGB)**  
 N.T.S. Source: VHB 13.337

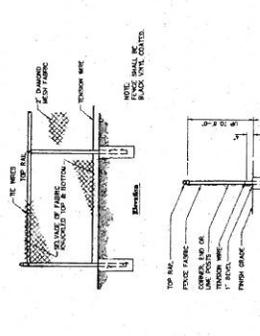
**NOTE:**  
 1. ALL SECTIONS SHALL BE DESIGNED FOR 100-PSF LOADING.  
 2. THE TOP SURFACE SHALL BE FINISHED TO MATCH THE ADJACENT SIDEWALK OR DRIVEWAY.  
 3. THE BOTTOM SURFACE SHALL BE FINISHED TO MATCH THE ADJACENT SIDEWALK OR DRIVEWAY.  
 4. THE DRAINAGE SHALL BE TO THE STREET OR TO THE STORM SEWER SYSTEM.  
 5. THE DRAINAGE SHALL BE TO THE STREET OR TO THE STORM SEWER SYSTEM.



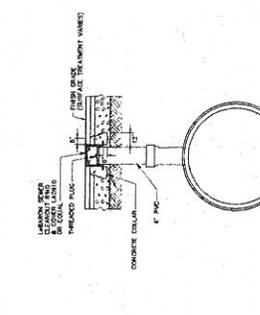
**Bollard**  
 N.T.S. Source: VHB 8.720



**Wood Guardrail**  
 N.T.S. Source: VHB 13.336

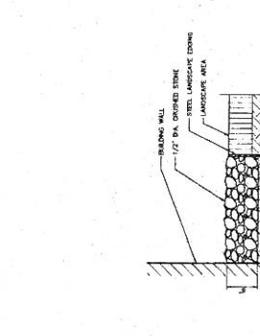


**Chain Link Fence up to 6'**  
 N.T.S. Source: VHB 8.747

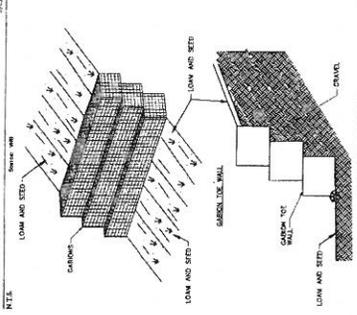


**Detection System Inspection Port**  
 N.T.S. Source: Stormwater 13.335

**NOTE:**  
 1. THIS PORT IS TO BE INSTALLED IN THE DETECTION SYSTEM AS SHOWN IN THE DETAIL.  
 2. THE PORT SHALL BE INSTALLED IN THE DETECTION SYSTEM AS SHOWN IN THE DETAIL.

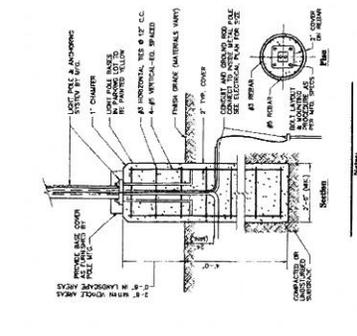


**Drip Edge**  
 N.T.S. Source: VHB 8.712



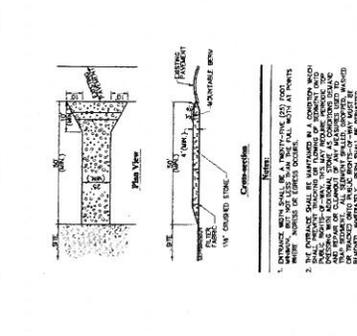
**Beach Foundation**  
 N.T.S. Source: VHB 5.12320

**STRUCTURAL GABION WALL**  
 SOURCE: ADAPTED FROM PRODUCT LITERATURE OF REPAIR GABIONS DESIGNED BY CH2M

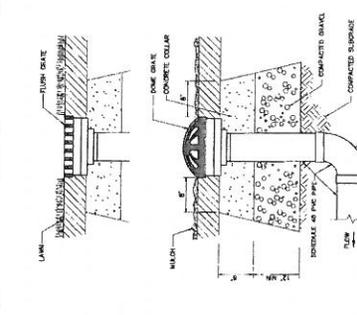


**Light Pole Foundation Detail (Up to 15' Pole)**  
 N.T.S. Source: VHB 13.334

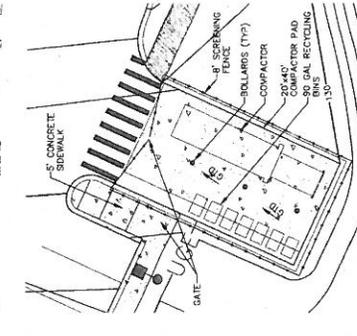
**NOTE:**  
 1. THIS FOUNDATION IS TO BE USED FOR LIGHT POLES UP TO 15 FEET HIGH.  
 2. THE FOUNDATION SHALL BE INSTALLED IN THE DETAIL AS SHOWN IN THE DETAIL.  
 3. THE FOUNDATION SHALL BE INSTALLED IN THE DETAIL AS SHOWN IN THE DETAIL.



**Stabilized Construction Exit**  
 N.T.S. Source: VHB 8.733



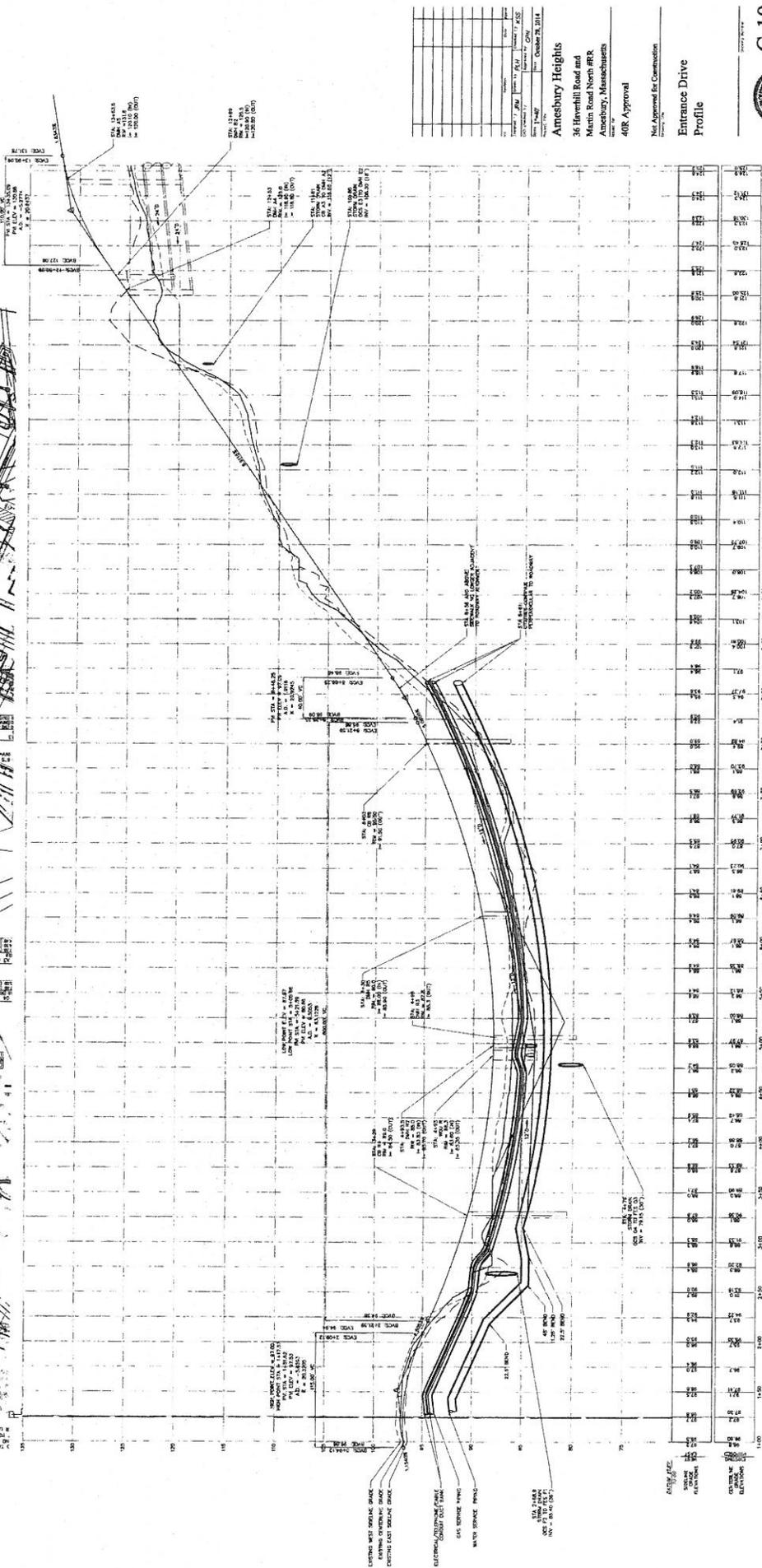
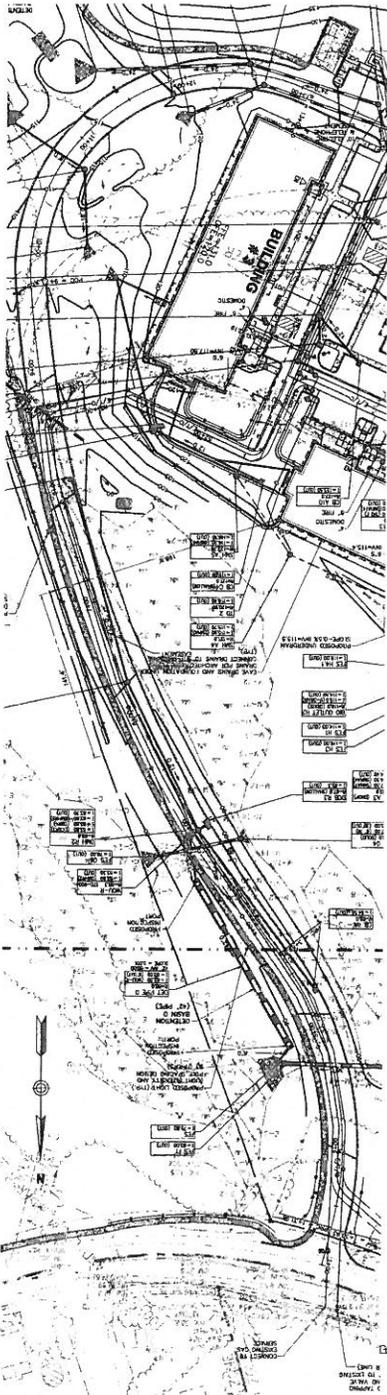
**Landscape Drain (LD)**  
 N.T.S. Source: VHB 13.371



**Compactor Pad Enclosure**  
 N.T.S. Source: VHB 13.372

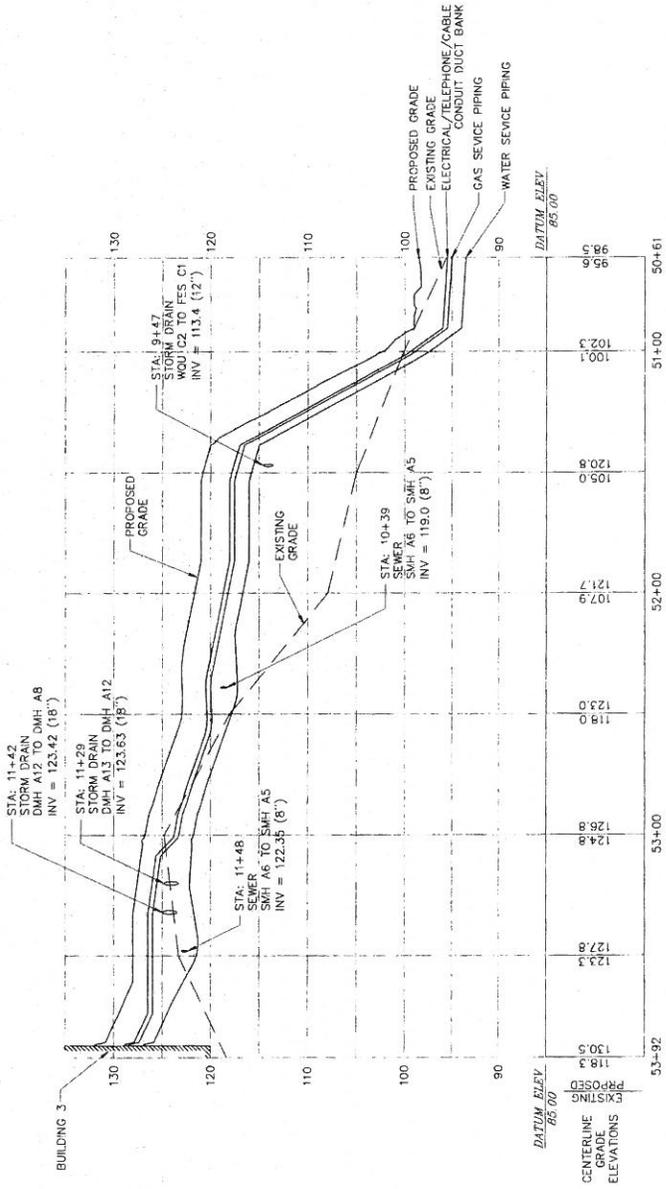
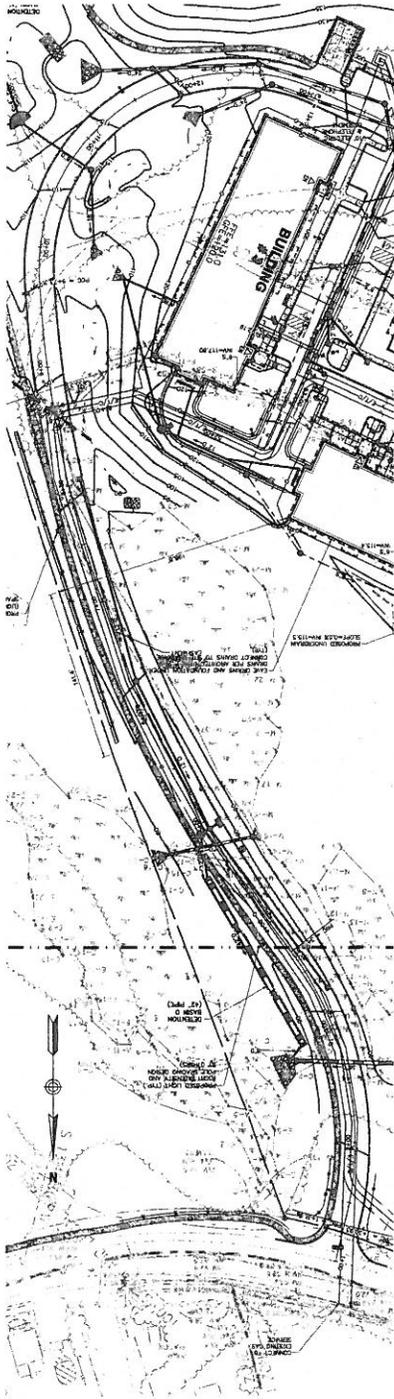






















# THE COMMONWEALTH OF MASSACHUSETTS

AMESBURY  
HAVERHILL ROAD (ROUTE 110)  
TITLE & INDEX SHEET  
SHEET 1 OF 31

## SAFETY IMPROVEMENT PROJECT HAVERHILL ROAD (ROUTE 110)

IN THE TOWN OF

### AMESBURY ESSEX COUNTY

ACCESS PERMIT PROJECT

**INDEX**

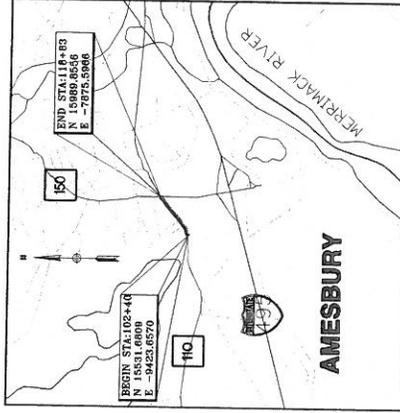
1	TITLE & INDEX SHEET
2	LEGEND & GENERAL NOTES
3	TYPICAL SECTIONS & PAVEMENT NOTES
4-7	CONSTRUCTION DETAILS
8-10	GENERAL PLANS
11-13	ALIGNMENT AND GRADING PLAN
14-18	TRAFFIC SIGNALS
17-18	SIGN SUMMARY
19-25	TRAFFIC SIGNAL DETAILS
26-27	TRAFFIC MANAGEMENT PLANS
28-31	CROSS SECTIONS

**REFERENCE MANUALS**

THE MASSACHUSETTS HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, AS AMENDED, THE SUPPLEMENTAL SPECIFICATIONS DATED JUNE 15, 2002, THE SUPPLEMENTAL SPECIFICATIONS DATED MAY 2, 2014, THE 2014 CONSTRUCTION STANDARD DETAILS, THE 1996 CONSTRUCTION AND TRAFFIC STANDARD DETAILS (AS RELATES TO TRAFFIC CONTROL DEVICES ONLY), THE 2009 MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS WITH AND WITHOUT TRAFFIC SIGNALS, THE 1990 STANDARD DRAWINGS FOR SIGNS AND SUPPORTS, THE 1985 STANDARD DRAWINGS FOR TRAFFIC SIGNALS AND HIGHWAY LIGHTING AND THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, WILL GOVERN.

**DESIGN DESIGNATION**

DESIGN SPEED	= 40 mph
ADT (2006)	= 10,970 vpd
ADT (2016)	= 15,847 vpd
K	= 8.4%
D	= 2.0%
T (PEAK HOUR)	= 96.3% (WB)
DDHV	= 735 wph



**APPROVAL BY MASSDOT**

100% SUBMITTAL  
LENGTH OF PROJECT: 1640 FEET

ENGINEER	DATE
<b>VHB</b>	
VHB Verrill Howe Busby Transportation & Civil Development 101 Market St., P.O. Box 9151 Boston, MA 02127 TEL: 617-552-7171 FAX: 617-552-7186	
DESIGNED BY	DATE
J. MONTY	1 31
APPROVED BY	DATE
DDG	28 OCT 14
CHECKED BY	DATE
J. MONTY	28 OCT 14
IN CHARGE	DATE
W.P.A.	09/07/01

PROJECT ENGINEER	DATE
PROJECT ENGINEER	
PROJECT ENGINEER	
PROJECT ENGINEER	

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SUBJECT TO  
APPROVAL BY MASSDOT



MERRILL AVENUE

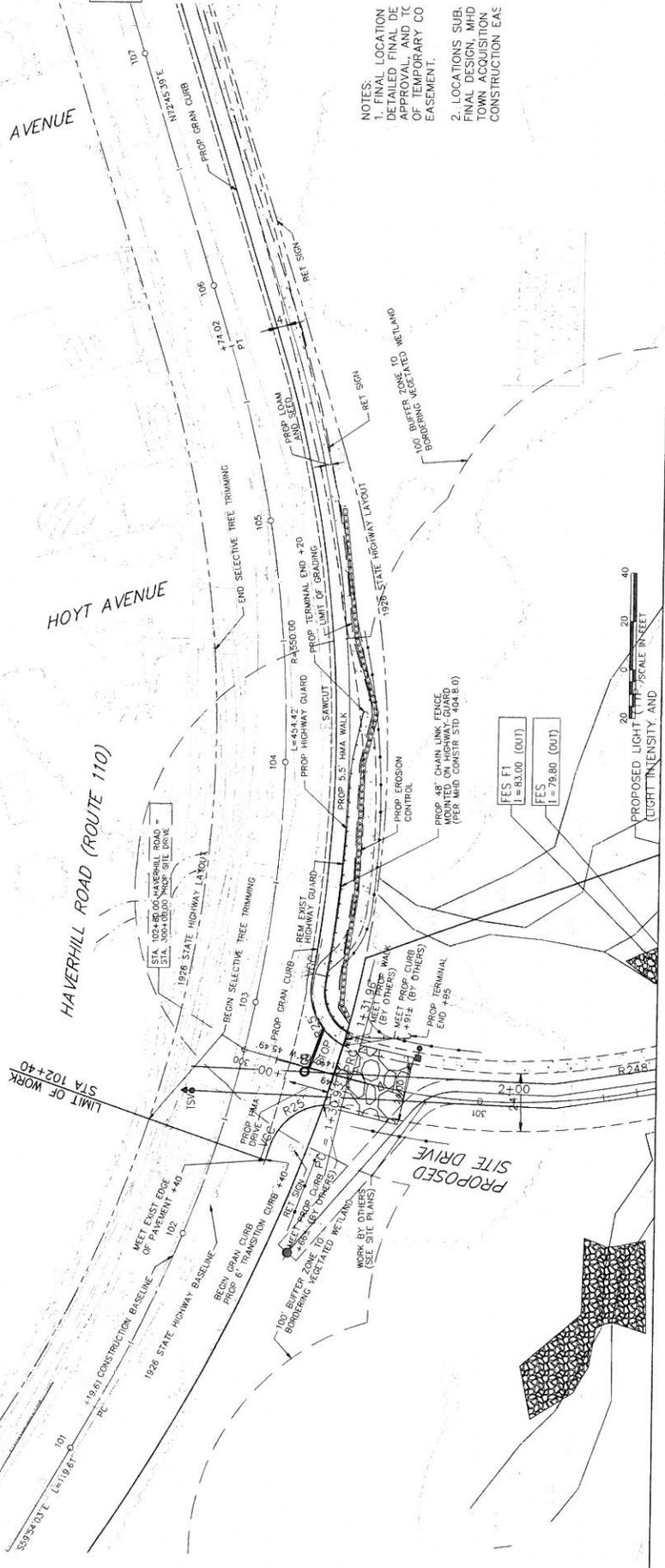
HOYT AVENUE

HAVERHILL ROAD (ROUTE 110)

STA 102+40  
LIMIT OF WORK

CONT. NO  
SHEET 9

- NOTES:
1. FINAL LOCATION DETAILED FINAL DESIGN, APPROVAL, AND TC OF TEMPORARY CO EASEMENT.
  2. LOCATIONS SUB-FINAL DESIGN AND TOWN ACQUISITION CONSTRUCTION EAS

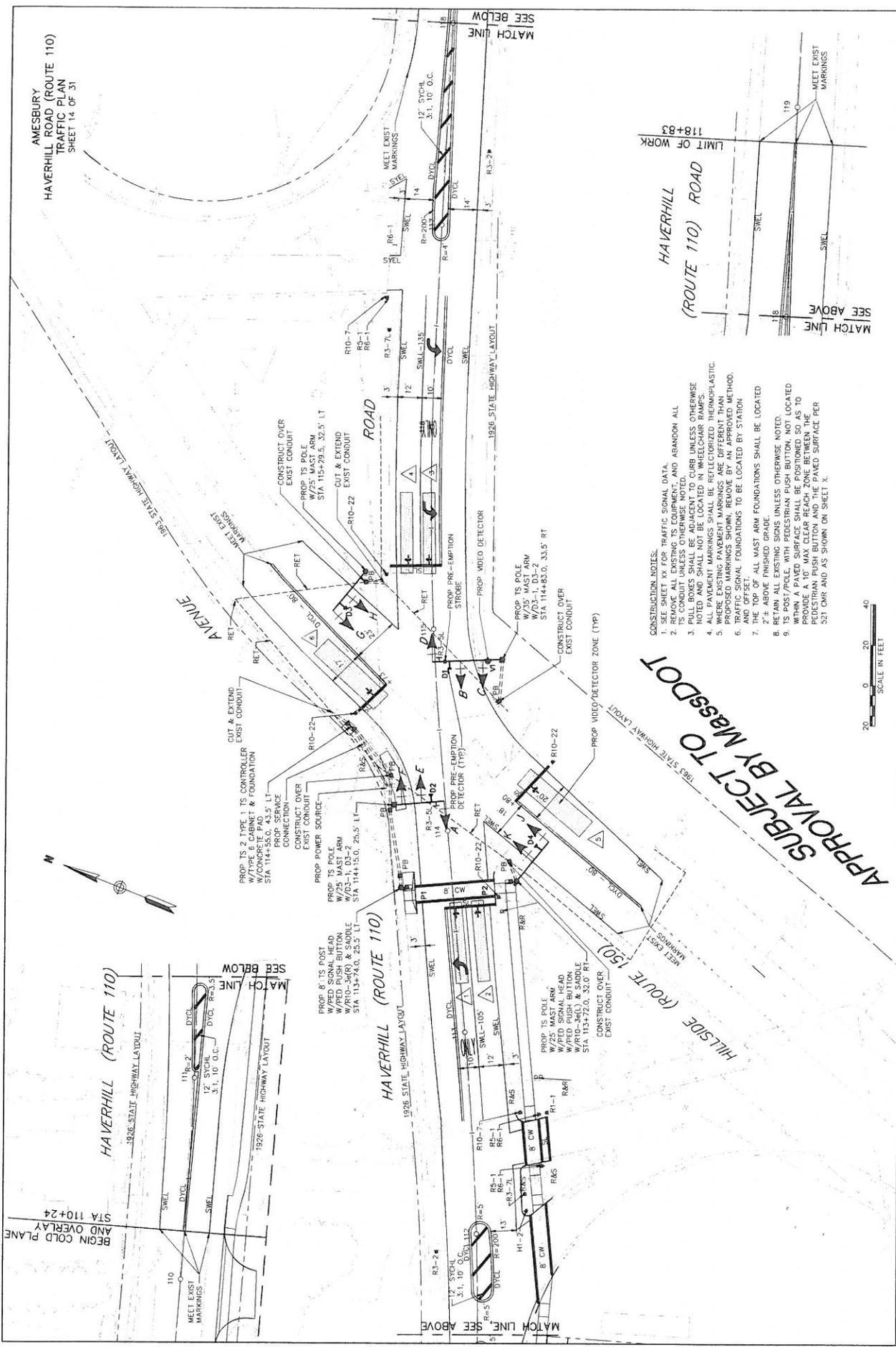


FES F1  
L = 83.00 (OUT)  
FES  
L = 79.80 (OUT)

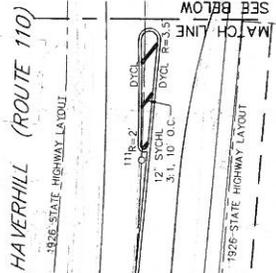








AMESBURY  
HAVERHILL ROAD (ROUTE 110)  
TRAFFIC PLAN  
SHEET 14 OF 31



- CONSTRUCTION NOTES:
1. SEE SHEET XX FOR TRAFFIC SIGNAL DATA.
  2. REMOVE ALL EXISTING TS EQUIPMENT, AND ABANDON ALL TS CONDUIT UNLESS OTHERWISE NOTED.
  3. ALL SIGNAL HEADS SHALL BE LOCATED IN WHEELCHAIR RAMPS.
  4. ALL PAVEMENT MARKINGS SHALL BE REPAVED WITH PLASTIC.
  5. WHERE EXISTING PAVEMENT MARKINGS ARE DIFFERENT THAN PROPOSED MARKINGS SHOWN, REMOVE BY AN APPROVED METHOD.
  6. TRAFFIC SIGNAL FOUNDATIONS TO BE LOCATED BY STATION.
  7. THE TOP SET - ALL MAST ARM FOUNDATIONS SHALL BE LOCATED 2'-3" ABOVE FINISHED GRADE.
  8. RETAIN ALL EXISTING SIGNS UNLESS OTHERWISE NOTED.
  9. TS POST/POLE, WITH PEDESTRIAN PUSH BUTTON, NOT LOCATED WITHIN A PAVED SURFACE SHALL BE POSITIONED SO AS TO PROVIDE A 10' MAX CLEAR REACH ZONE BETWEEN THE PEDESTRIAN PUSH BUTTON AND THE PAVED SURFACE PER SET CUR AND AS SHOWN ON SHEET X.



SUBJECT TO MASSDOT  
APPROVAL BY MASSDOT







DAVID M. WHITE, ARCHITECT  
 54 Todd Farm Lane  
 P. O. Box 517  
 New London, New Hampshire 03257  
 (603) 763-1335

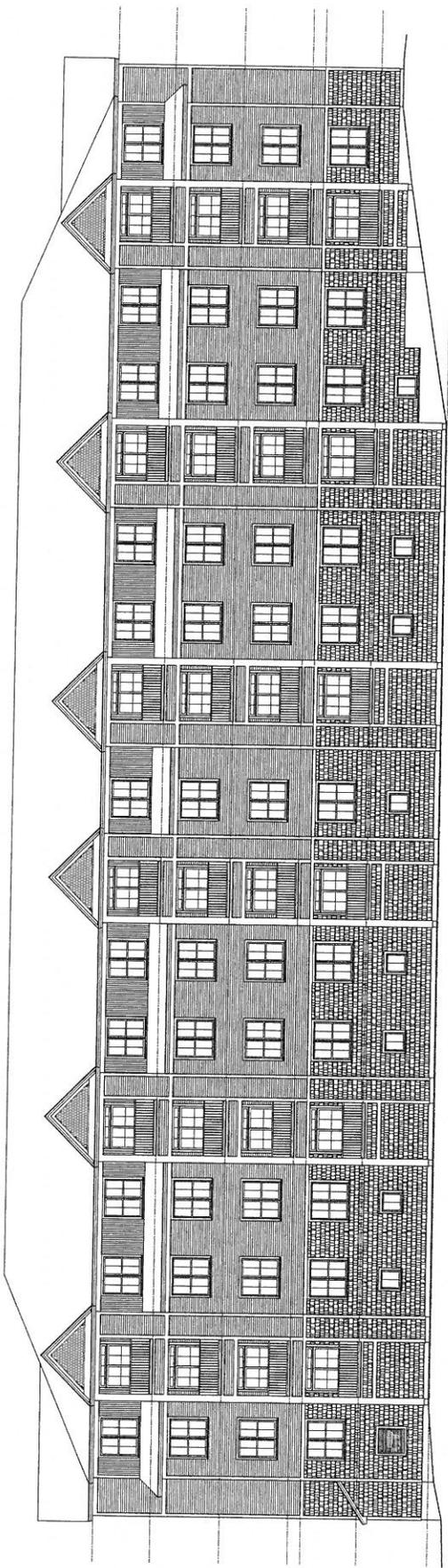
CORCORAN JENNISON, ASSOCIATES, LLC  
 150 Mt. Vernon Street Suite 500  
 Boston, MA 02125

AMESBURY HEIGHTS  
 Haverhill Road  
 Amesbury, Massachusetts

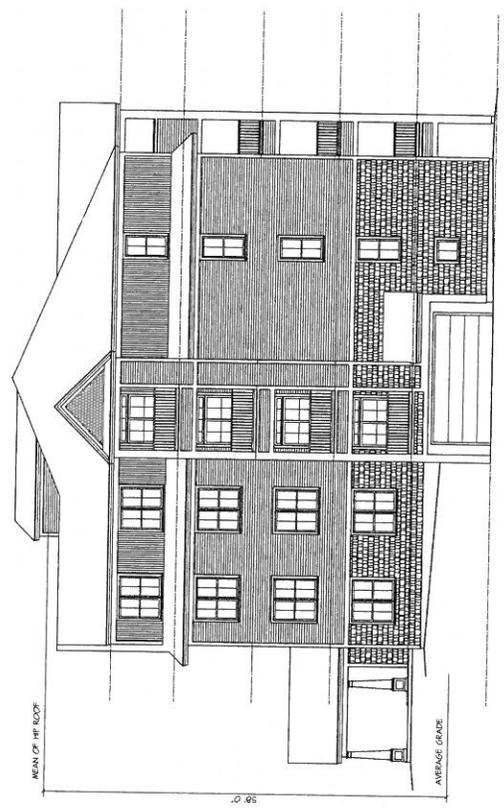
ELEVATIONS  
 buildings 1 & 2  
 Scale 1/8" = 1'-0"  
 Commission No. 14-003  
 Date: November 1, 2014

REVISIONS:

DRG. NO. A.7



REAR ELEVATION



RIGHT SIDE ELEVATION





DAVID W. WHITE, ARCHITECT  
 54 Todd Farm Lane  
 P. O. Box 817  
 New London, New Hampshire 03251  
 (603) 763-1335

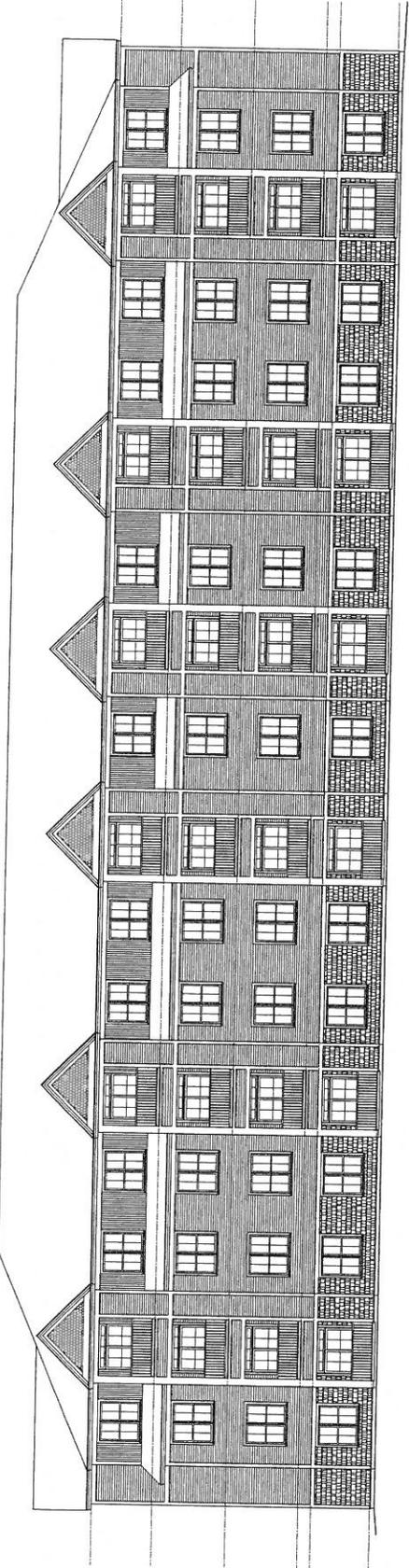
CORCORAN TENNISON, ASSOCIATES, LLC  
 150 Mt. Vernon Street Suite 500  
 Boston, MA 02125

AMESBURY HEIGHTS  
 Hayward Road  
 Amesbury, Massachusetts

ELEVATIONS  
 BUILDING 4 & 5  
 Scale: 1/8" = 1'-0"  
 Commission No: 14-003  
 Date: November 1 2014

REVISIONS:

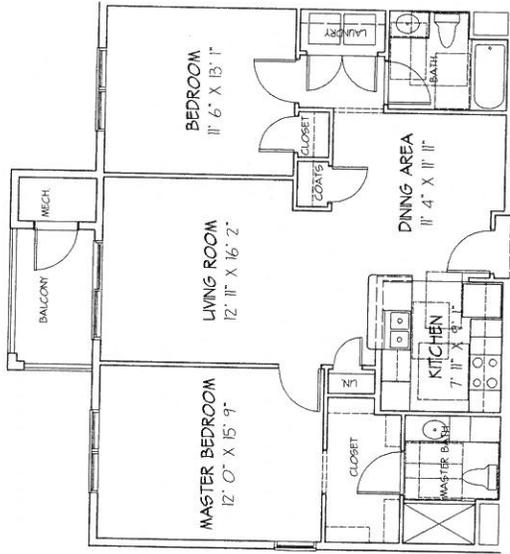
DRG. NO.  
**A.20**



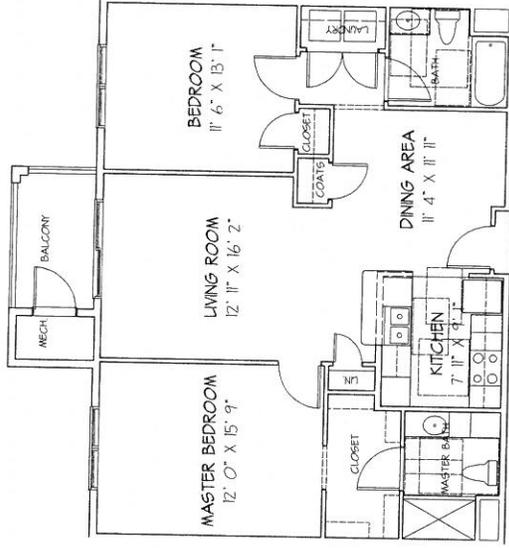
REAR ELEVATION



RIGHT SIDE ELEVATION



**TWO BEDROOM UNIT B**  
 SCALE: 1/4" = 1' 0"  
 191 GROSS SQUARE FEET



**TWO BEDROOM UNIT A**  
 SCALE: 1/4" = 1' 0"  
 192 GROSS SQUARE FEET



**DAVID M. WHITE, ARCHITECT**  
 54 Todd Farm Lane  
 P. O. Box 817  
 New London, New Hampshire 03251  
 (603) 763-835

**CORCORAN JENNEON ASSOCIATES, LLC**  
 150 Mount Vernon Street Suite 500  
 Boston, Massachusetts 02125

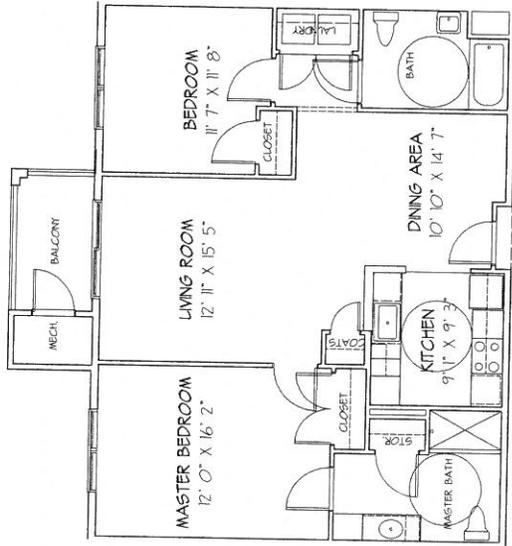
**AMESBURY HEIGHTS**  
 Haverhill Road  
 Amesbury, Massachusetts

**UNIT A & B PLANS**  
 Scale: 1/4" = 1' 0"  
 Commission No: 14-03  
 Date: November 1, 2014

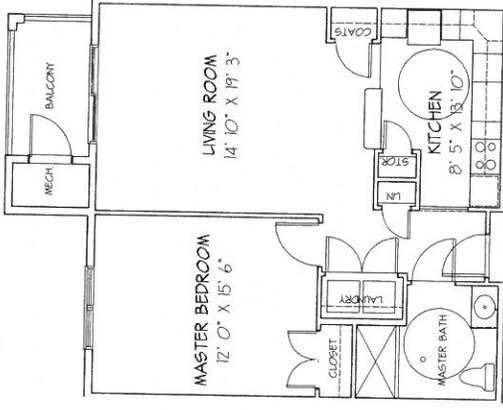
REVISIONS:

DRG. NO.

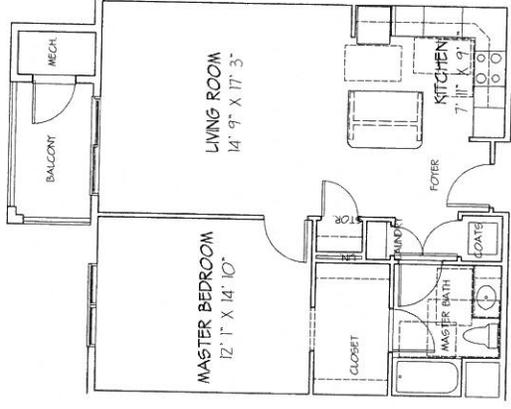
U.1



**TWO BEDROOM UNIT H2**  
 SCALE: 1/4" = 1' 0"  
 820 GROSS SQUARE FEET



**ONE BEDROOM UNIT H1**  
 SCALE: 1/4" = 1' 0"  
 830 GROSS SQUARE FEET



**ONE BEDROOM UNIT D**  
 SCALE: 1/4" = 1' 0"  
 830 GROSS SQUARE FEET



**DAVID M. WHITE, ARCHITECT**  
 54 Todd Farm Lane  
 P. O. Box 817  
 New London, New Hampshire 03251  
 (603) 763-8335

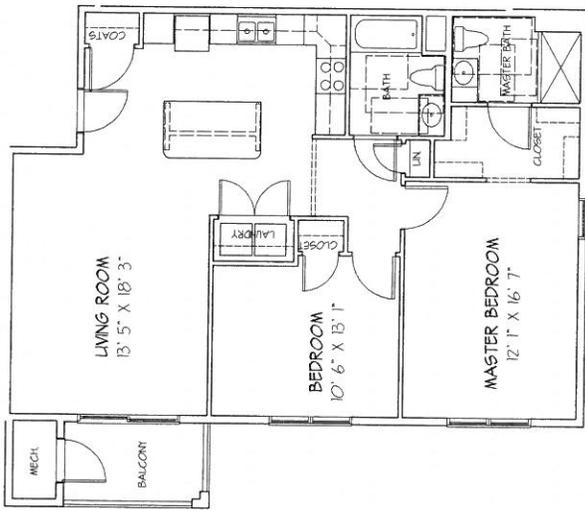
**CORCORAN JENNISON ASSOCIATES, LLC**  
 150 Mount Vernon Street Suite 500  
 Boston, Massachusetts 02115

**AMESBURY HEIGHTS**  
 Howmill Road  
 Amesbury, Massachusetts

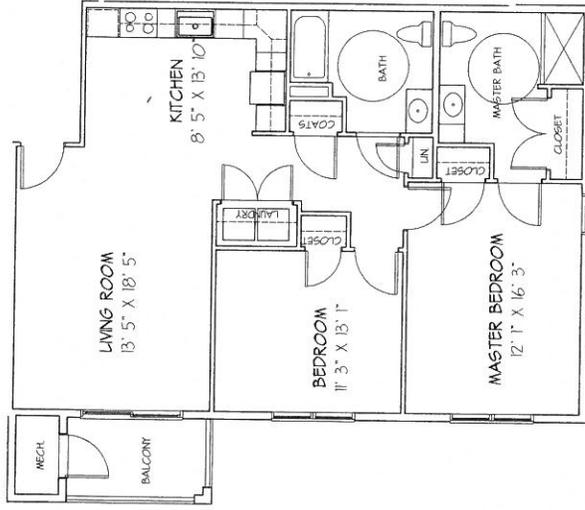
**UNIT D, H1 & H2 PLANS**  
 Scale: 1/4" = 1' 0"  
 Commission No: 14-03  
 Date: November 1, 2018

REVISIONS:

DRG. NO.  
 U.2



TWO BEDROOM UNIT C  
 SCALE: 1/4" = 1' 0"  
 150 GROSS SQUARE FOOTAGE



TWO BEDROOM UNIT H4  
 SCALE: 1/4" = 1' 0"  
 150 GROSS SQUARE FOOTAGE



DAVID M. WHITE, ARCHITECT  
 54 Todd Farm Lane  
 P. O. Box 817  
 New London, New Hampshire 03257  
 (603) 763-8335

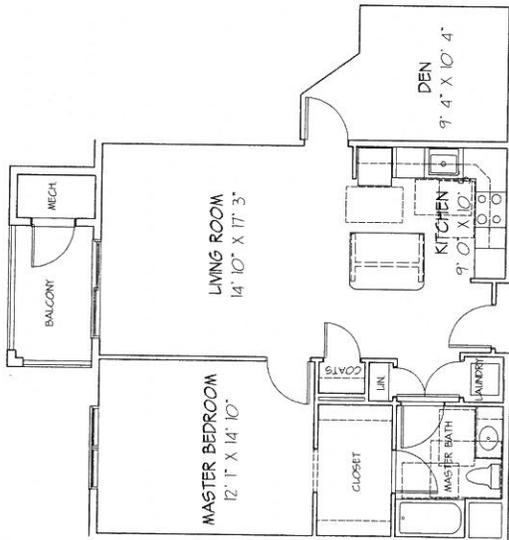
CORCORAN JENKINSON ASSOCIATES, LLC  
 150 Mount Vernon Street Suite 500  
 Boston, Massachusetts 02125

AMESBURY HEIGHTS  
 Hoarhill Road  
 Amesbury, Massachusetts

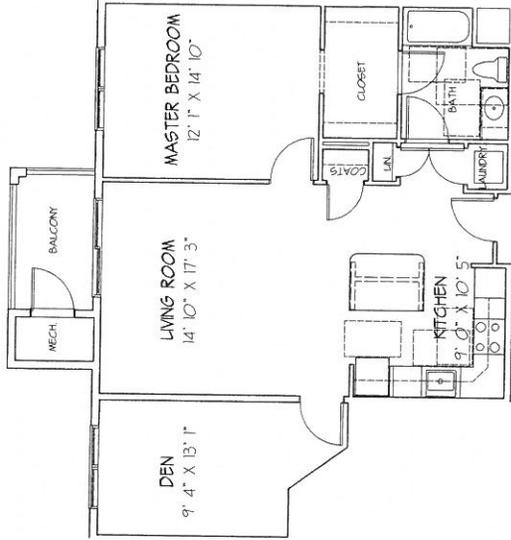
UNIT C & H4 PLANS  
 Scale: 1/4" = 1' 0"  
 Commission No: 14-03  
 Date: November 1, 2014

REVISIONS:

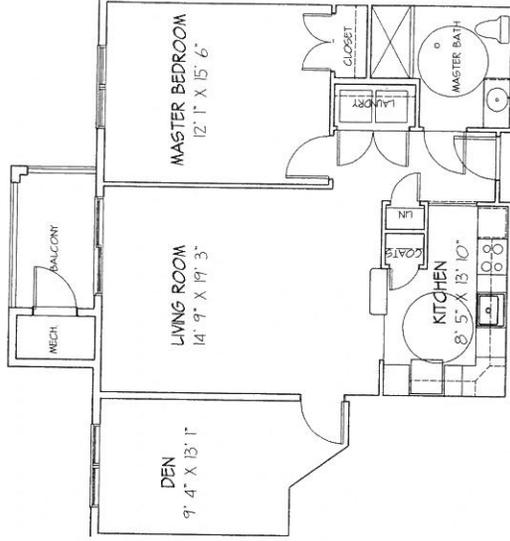
DRG. NO.  
 U.3



ONE BEDROOM PLUS DEN UNIT F  
SCALE: 1/4" = 1' 0"  
940 GROSS SQUARE FEET



ONE BEDROOM PLUS DEN UNIT G  
SCALE: 1/4" = 1' 0"  
940 GROSS SQUARE FEET



ONE BEDROOM UNIT H3  
SCALE: 1/4" = 1' 0"  
940 GROSS SQUARE FEET



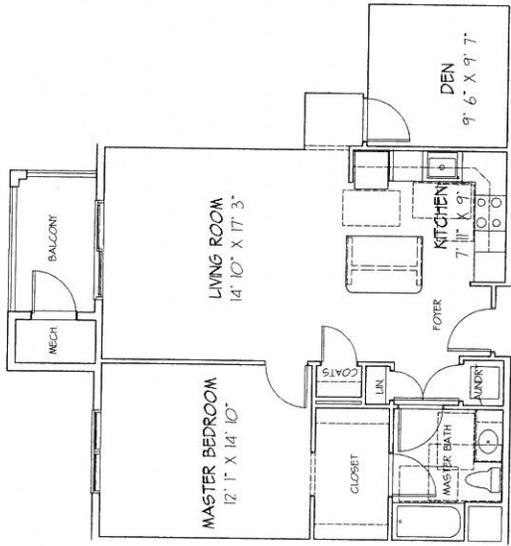
DAVID M. WHITE, ARCHITECT  
54 Todd Farm Lane  
P. O. Box 817  
New London, New Hampshire 03257  
(603) 763-8335

CORCORAN JENNINGSON ASSOCIATES, LLC  
150 Mount Vernon Street Suite 500  
Boston, Massachusetts 02125

AMESBURY HEIGHTS  
Haverhill Road  
Amesbury, Massachusetts

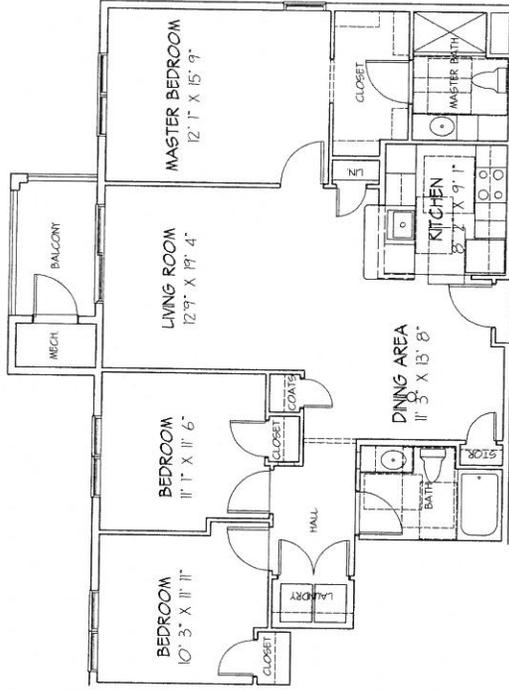
UNIT F, G & H3 PLANS  
Scale: 1/4" = 1' 0"  
Commission No: H-03  
Date: November 1, 2014

REVISIONS:  
DRG. NO.  
U.4



ONE BEDROOM PLUS DEN UNIT J

SCALE: 1/4" = 1'-0"  
953 GROSS SQUARE FEET



THREE BEDROOM UNIT K

SCALE: 1/4" = 1'-0"  
1270 GROSS SQUARE FEET



DAVID M. WHITE, ARCHITECT  
54 Todd Farm Lane  
P. O. Box 817  
New London, New Hampshire 03257  
(603) 763-8335

CORCORAN JENKINSON ASSOCIATES, LLC  
50 Mount Vernon Street Suite 500  
Boston, Massachusetts 02125

AMESBURY HEIGHTS  
Haverhill Road  
Amesbury, Massachusetts

UNIT J & K PLANS  
Scale: 1/4" = 1'-0"  
Commission No: 14-03  
Date: November 1, 2014

REVIEWS:  
DRG. NO. U.5

**TO:**

Owner:

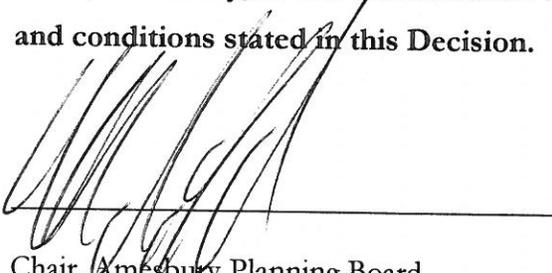
Boston North Properties, LLC  
98 Elm Street, Salisbury, MA 01952

Applicant:

Corcoran & Jennison Associates, Inc  
150 Mount Vernon Street, Suite 500  
Boston, MA 02125

**PLANNING BOARD VOTE:**

**On 4/13/2015, the Amesbury Planning Board voted 6-0 in favor of the approval of the Site Plan, as amended, for a 240 unit multi-family residential development at 36 Haverhill Road, Amesbury, MA as shown on the approved Site Plan subject to the findings, waivers and conditions stated in this Decision.**



Chair, Amesbury Planning Board

Filed with the City Clerk on \_\_\_\_\_

\_\_\_\_\_  
City Clerk

A Building Permit is required for any construction or remodeling. It is your responsibility to file Decision with the Registry of Deeds and to record the plans after endorsement; forms may be obtained from the City Clerk's Office.

*Any appeal shall be made pursuant to Mass. General Laws, Section 17, Chapter 40A, and shall be filed within twenty (20) days after the date of filing of such notice in the City Clerk's Office.*

**Compliance with Conditions Set Forth by the Amesbury Planning Board Decision prior to Issuance of a Building Permit**

**SIGN-OFF FORM (PB200601-BUILDING)**

(IMPORTANT: IT IS THE RESPONSIBILITY OF THE PERSON SEEKING BUILDING PERMIT TO GET THE SIGN OFF FROM EACH OF THE DEPARTMENTS LISTED BELOW. THE TOWN WILL NOT BE HELD RESPONSIBLE FOR LACK OF ACTION ON THE APPLICANT'S BEHALF. BEFORE SIGNOFF, COPIES OF THE RECORDED DECISION AND THE APPROVED PLAN SET SHOULD BE SUBMITTED TO THE PLANNING OFFICE.)

By signing below, the following Town Department/Town Officials, agree that the conditions of this permit prior to making application for building permit have been completed and recommend that an application for a building permit for the units indicated below may be granted:

Engineering Department/Town Engineer \_\_\_\_\_

Department of Public Works/DPW Director \_\_\_\_\_

Planning Office/City Planner \_\_\_\_\_

Conservation Commission/Agent \_\_\_\_\_

Police Department \_\_\_\_\_

Fire Department \_\_\_\_\_

**Compliance with Conditions of the Amesbury Planning Board Decision prior to Issue of Certificate of Occupancy**

**SIGN-OFF FORM (PB200602-OCCUPANCY)**

(IMPORTANT: IT IS THE RESPONSIBILITY OF THE PERSON SEEKING CERTIFICATE OF OCCUPANCY TO GET THE SIGN OFF FROM EACH OF THESE DEPARTMENTS. THE TOWN WILL NOT BE HELD RESPONSIBLE FOR LACK OF ACTION ON THAT PERSON'S BEHALF)

The following Town Department/Town Officials, by signing below, agree that the conditions of this permit from the start of construction to prior to issue of occupancy permit have been completed and recommend that the Certificate of Occupancy be granted for the units indicated on this form.

Engineering Department/Town Engineer \_\_\_\_\_

Department of Public Works/DPW Director \_\_\_\_\_

Planning Office/City Planner \_\_\_\_\_

Conservation Commission/Agent \_\_\_\_\_

Police Department \_\_\_\_\_

Fire Department \_\_\_\_\_