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AMESBURY CITY CLERK

PLANNING BOARD DECISION

Property Ownership: **Dan Healey**

Applicant: **Dan Healey**
Arc Technologies LLC
37 South Hunt Road, Amesbury MA

Application Type: **SITE PLAN REVIEW**

Project: **Building Addition - Industrial**

Location: **29 & 37 South Hunt Road, Amesbury, MA 01913**

Date: **January 11, 2016**

A. GENERAL

On or about 8/31/2015, the Amesbury Planning Board (the "Board") received an application Site Plan Review for a proposed single story 68,928 sf (gross floor area) Building Addition along with associated parking, access drive, landscaping, utilities and stormwater management improvements ("Project") at 29 & 37 South Hunt Road in Amesbury MA. The application was submitted along with a Site Plan (the "Plan") drawn on 8/24/2015 by W.C. Cammett Engineering, Inc., 297 Elm Street Amesbury, MA 01913 last revised on 12/28/2015 and submitted along with supporting documents by Denis Hamel on behalf of Dan Healey, Arc Technologies LLC (the "Applicant"). The set of plans includes thirteen (13) sheets.

The Board also received supplemental plans and documents pertaining to stormwater and drainage, erosion control, building elevations, lighting and landscaping plans for review (see Exhibits). The following plans are attached as exhibits:

- Exhibit 1 - Approved Site Plan Set (Sheets 1 – 9)
- Exhibit 2 - Preliminary Architectural Elevations and Floor Plans
- Exhibit 3 – Preliminary Landscape Plan
- Exhibit 4 – Lighting Plan

The Board held the initial public hearing on 9/28/2015 and subsequent continued public hearings on 10/26/2015, 11/09/2015, and 12/14/2015. The public hearing was closed and a decision was rendered on 01/11/2016. This is the Final Action of the Board (“Decision”) on the application for Site Plan Review.

B. FINDINGS:

1. **Subject Property:** The Property is located at 29 and 37 South Hunt Road and comprises of two lots measuring approximately 10.6 acres in area per Assessor's Office records. The two lots are identified on Map 95 as Lots 15 and 15A. The parcels are zoned Industrial.
2. **Existing Conditions:** An existing building is located at 37 South Hunt Road. The abutting parcel, 29 South Hunt Road, is undeveloped and primarily comprised of a scrub shrub vegetation area and the remaining area is lightly wooded. Both parcels are nearly level for the majority of the site with sloping areas down to abutting properties. There is an area of bordering vegetated wetlands at the bottom of slope near South Hunt Road. A municipal sewer pumping station exists on the street frontage for 29 South Hunt Road.
3. **Project Description and Proposed Use:** The Applicant has proposed a building addition of 68,928sf to the existing building along with parking and access drive around the new addition. This will allow the manufacturing facility located at 12 Oakland Street in Amesbury to be consolidated with the existing facility at this Site. It will also allow additional space to be created for future growth. A lot consolidation plan has been provided that shows that the two lots shall be combined to allow for the building addition

to meet dimensional regulations per zoning requirements. Other improvements include landscaping, lighting and stormwater management to control runoff. The Board finds that this allows industrial uses to be relocated out of Downtown and provides for more efficient and appropriate land uses in either zoning districts.

4. **Site Layout, Grading and Building Location:** The site is predominantly flat and the new addition will be at the same grade as the existing building. The access drive around the new addition will serve as the emergency access drive. Future parking areas have been defined and some of these parking areas will be built now to serve the new facility. The Board finds that the proposed building and parking layout is adequate for the proposed use as noted in the application;
5. **Off – Street Parking, Traffic and Vehicular Circulation:** A total of 295 parking spaces are required for both the existing and proposed buildings. There are currently 199 existing spaces. 13 new parking spaces will be constructed and 83 parking spaces shown on the plan are reserved for future parking needs. The Applicant requested a waiver from actually constructing all the required parking spaces as the parking needs for the facility are much lower than that required by zoning. The Board finds the arrangement of parking spaces adequate to meet the needs of the current and proposed use;
6. **Storm water Management:** The peer review consultants working for the Board reviewed the proposed stormwater management system. A detailed Operation and Maintenance Plan has been presented to the Board. The runoff from the rooftop is directed to the proposed infiltration basin. The runoff from the proposed parking area and access drives is captured and infiltrated to the ground using porous pavement. A Stormwater Pollution Prevention Plan (SWPPP) has been prepared for the Project. A NPDES Construction general permit will also be required. The applicant and their assignees will be required to follow the maintenance requirements to ensure proper functioning of the drainage structures. The Board finds that these design measures and maintenance requirements will reduce the likelihood of any detrimental impact on abutting properties due to stormwater runoff provided the stormwater management system is constructed as shown on approved plans;

7. **Environmental Resource Protection:** No work is proposed within any environmental jurisdictional areas. The Board finds that no additional assessment is needed for compliance with local environmental regulations;
8. **Architectural Design:** Preliminary elevation drawings were provided to the Board for the proposed Building. The Board finds the preliminary architectural design satisfactory provided the final architectural drawings are consistent with these preliminary drawings;
9. **Landscaping** A landscaping plan was submitted along with the Site Plan. The Board finds that the landscaping plan needs additional planting to comply with the requirements of the landscape buffers along the building and some property lines. The Board will review the revised plan pursuant to this Decision prior to start of construction;
10. **Signage** – No signage was proposed on the building. No changes were proposed to the existing signage on the property.
11. **Lighting:** The proposed lighting plan shows different light fixtures depending on location. 12 feet high pole lights in the parking lot with dark sky compliant fixtures are being proposed. Bollards are being proposed along walkways. The Board finds this lighting proposal desirable as it reduces the amount of light spillage across property lines, glares and complies with the performance standards.

Based on the findings noted above, the Board finds that the Project satisfies the Development and Performance Standards under Section XI.C.8 and the Site Plan Review Criteria under Section XI.C of the Amesbury Zoning Bylaw (the “Bylaw”).

C. WAIVERS

The Applicant has requested specific waivers from the provisions of Amesbury’s Subdivision Rules and Regulations and the Zoning Bylaw (see list below in Table 1). The Board has endeavored to grant waivers from those rules and regulations, only to the extent necessary, where

the waivers are consistent with the purpose and intent of the regulations and would not threaten public health, safety or welfare and to minimize harm and disruption to the locus and real property abutting the locus. In the event that further waivers are required, the Applicant shall submit a written request for such waiver(s) to the Board and the Board may grant or deny such additional waivers in accordance with applicable rules and regulations in effect at that time. The following waivers are granted to the extent necessary to construct the approved plan as submitted and revised:

TABLE 1:

Section(s) of Amesbury Zoning Bylaw	Requested Waiver	Decision of the Board
Section XI.C.5.1 -	Traffic Study (Letter dated 11/30/15)	Granted to the extent necessary and consistent with the conditions of this Approval

D. APPROVAL OF THE SITE PLAN AND CONDITIONS THERETO

Upon notice and after a public hearing in accordance with the statute (General Laws, Chapter 40A, section 11) and the Amesbury Zoning Bylaw, and after full consideration of the evidence presented, and upon the findings made in Section B of this Decision, the Board determined that a conditional Site Plan Approval is granted for the proposed Building Addition located at 29 & 37 South Hunt Road in Amesbury as shown on the approved Plan further upon the conditions and herei

nafter set forth, for the premises described in the application.

I. COMPLIANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS:

The Project and all construction, utilities, roads, drainage, earth removal and filling and all related appurtenances with respect to the Project, shall comply with all applicable local, state and federal regulations except as waived specifically by this Decision. The Applicant shall be responsible for acquiring all other local, state and federal permits and approvals as necessary to construct the

Project as approved by the Board. Final action on all other permits shall be submitted to the Board for record. The Board notes that the following are some of the permits needed for this Project prior to start of any construction activity:

1. Compliance with the Massachusetts Wetlands Protection Act and related regulations, G. L. c. 131, § 40-40A, and the Amesbury Wetlands Ordinance and Regulations;
2. Compliance with DEP Stormwater Regulations, as needed;
3. NPDES permit from Environmental Protection Agency, and

II. PRIOR TO START OF ANY CONSTRUCTION ACTIVITY ON SITE

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Legal Documents:** The following documents shall be submitted to the Board and the Building Inspector:
 - a) **Documents Recorded at the Southern Essex Registry of Deeds:**
 - i. Planning Board Decision and Plan Set - A copy of this Decision and Approved Plan Set (excluding Sheets A-1; FP-1; LS-1 and P100);
 - ii. Record Plan showing the two parcels have been merged to create one lot;
2. **CAD Drawings** - Three copies of all drawings and site plans as approved by Board shall be provided as Computer Assisted Drawings (CAD) on Compact Disks to the Board;
3. **Submission of Architectural Drawings:** A copy of the complete set of detailed architectural elevations and floor plans for the proposed Building shall be submitted to the Board. The final architectural drawings shall be sufficiently annotated to describe in detail the building materials, details and color scheme for the building. The Board shall review and approve the final drawings, which approval shall not unreasonably withheld, before making request for a building permit for said buildings.

4. **Sedimentation and Erosion Control Bond** – The Applicant shall be required to post Surety with the Board for Sedimentation and Erosion to ensure that stormwater runoff management and erosion control measures are implemented on site as per Final Plans and other engineering drawings and to ensure that remedial actions can be taken to address any detrimental impacts from erosion and sedimentation during construction and until the stormwater management system is fully operational;
5. **Performance Bond:** The Applicant shall be required to post a surety with the Board to ensure that all site stormwater systems and other improvements including landscape improvements are installed and completed as shown on the Final Plans. Prior to release of any Surety, the Board shall verify with its construction observation consultant that the work has been completed as per approved plans. The form and amount of surety shall be subject to final approval by the Board;
6. **Trash Removal/Recycling** - Dumpster location shall be identified on site and required fencing shall be wood stockade fence and final details shall be submitted for review and approval by Board. Chain link and vinyl fence shall not be allowed;
7. **Pre-Construction Conference** - At least five (5) business days prior to any initial site work, a Pre-Construction conference shall be held with the Applicant, Applicant's contractor, a representative of the Board, its consulting engineer, and representatives of the City Departments having an interest in the Plan. Said meeting shall be for the purpose of familiarization with the project, the conditions of approval, and the project's construction sequence and timetable. Copies of all other permits shall be provided to the Board in advance of this meeting; and
8. **Request for Pre-construction Conference:** The request for a Pre-construction Conference shall be acted upon by the Board only AFTER the Board has received and reviewed ALL of the documents required per this Decision before start of construction and has determined that the Project is ready to proceed to the construction phase. Upon authorization by the Board, its representatives shall schedule the Pre-construction Conference.

III. DURING CONSTRUCTION

The following shall apply to all construction activity as per approved Site Plan:

1. **Stockpiles** -. Earth material stockpiles shall not be allowed immediately adjacent to perimeter siltation barriers or drain inlets. Long term stockpiles over 30 days shall be shaped stabilized and circled by siltation fence and haybales and shall be stabilized by temporary seeding, sheeting or netting;
2. **Erosion Control and Stormwater Maintenance Requirement:** The Applicant's designee or assignee shall on a quarterly basis submit interim reports and supporting documents to the Board showing that requirements for stormwater system maintenance are being adhered according to the approved SWPPP and NPDES Permit.

IV. PRIOR TO MAKING REQUEST FOR AN OCCUPANCY PERMIT

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Certification of Improvements** - The Applicant shall request the Board for a Certificate of Improvements and submit it to the Building Inspector from the Board verifying that conditions of approval have been met and that construction to date is per the approved plans;
2. **Landscape Installation** - All site improvements, including landscaping and street trees shall be completed and installed as per Final Plans. The Landscaped Architect for the project shall submit a certification that the trees, shrubs and screening plants have been installed as per approved Final plans. All proposed trees shall be placed in position or staked out for approval by the Board prior to digging;
3. **As-Built Plans and Repairs** - To ensure compliance with the terms and conditions of this Decision and any approval or order by any federal, state-agency, the Applicant shall submit

plans with a certification from a Professional Engineer or Architect registered in the Commonwealth of Massachusetts that the Project "As-Built Plan" complies in all substantive respects with this Decision and any other approval or order by any federal, state or local agency. Any damage to public roads and walkways shall be repaired and/or replaced to the satisfaction of the DPW Director and City Engineer;

V. GENERAL AND IN PERPETUITY CONDITONS

1. **Allowed Uses**: This Decision allows for a 68,928sf building addition to the existing building in the location shown on the approved plan. Other improvements include parking, access drives, landscaping, utilities and stormwater management structures as shown on the approved plan. No other additions, expansions or alteration of existing buildings is allowed by this Decision. Upon completion, the overall building shall be used for manufacturing, accessory offices and storage. Changes to uses and addition of any other tenants shall only be allowed after approval by the Board;
2. **Inspections** - The Planning Board shall require the inspection of drainage, stormwater management structures, access drive, parking and other site improvements to ensure that the work is carried out in accordance with the Final Plans and to ensure that all improvements are in compliance with the conditions stated in this Decision. The Board shall require the establishment of a construction observation account and the Applicant shall provide the funds necessary for inspection by the Board's consultant prior to start of any construction activity;
3. **Final Release of the Performance Bond** - Final release of performance bond shall be made when all the following conditions have been met:
 - a) Upon completion of work as shown on the Final Plans, the Applicant shall furnish a report from the Board's construction observation consultant indicating that all work has been completed as per the Board's Decision and as shown on the Final Plans;
 - b) All City Department and the Board's inspectional engineer have recommended release of bond funds;

- c) upon completion of all off-site improvements and stormwater management system, submission of an "As-Built Plan" to the Board along with a written confirmation from a Registered Professional Engineer (P.E.), indicating that construction complies with the approved site plans and conditions of approval, including drainage and utility plans; and
- d) all landscaping plant materials (trees, shrubs, etc) have survived two (2) growing season and that dead plants have been replaced as per Final Plans;
4. **Release of the Sedimentation and Erosion Control Bond:** Prior to release of any Surety, the Board shall verify with its construction observation Consultant that the soils and slopes have stabilized and that there is evidence of healthy mature grass growing on slopes and lawns, and that all planting materials have survived two (2) growing season. Partial releases shall be allowed in amounts not less than fifty percent (50%) of the total initial surety bond amount held by the Board;
5. **Post Construction Stormwater Maintenance:** There are several storm water management structures, including but not limited to, bio-retention area, sediment forebay, water quality inlet, drainage trench, that need particular attention and maintenance needs initially. The operator of the stormwater management system shall submit post construction monitoring and maintenance logs and reports for a period of two (2) years after issuance of Certificate of Improvements or completion of all site improvements, whichever is later;
6. **Signage** – This Decision implicitly or explicitly does not endorse or approve any existing signs. The sign shall be made of natural materials. Final sign details shall be submitted for the Board for review and approval;
7. **Future Parking Spaces** – The Board shall allow the parking spaces identified as “future parking spaces” to not be built at this time. These spaces shall have to be constructed as per approved constructed details prior to change of use, alteration or expansion of building footprint or intensification of current use that changes the parking needs. Until such time these spaces shall be maintained as landscape areas and finished with grass or lawn.

8. **Site Plan Modifications:** Prior to expansion, addition or alteration of uses allowed by this Site Plan Approval, the Applicant shall provide detailed information and plans along with a formal written request for modification to the approved Site Plan for determination of minor or major modification and approval by the Board. Any substantial modifications to the approved Site Plan or changes that impact the Performance Standards under XI.C.8 or conditions of approval of this Decision shall be subject to review and approval of the Board. The Board shall, if it so determines, require the applicant to submit a new application for modification to the approved Site Plan and hold a new public hearing for review of the requested modifications; and

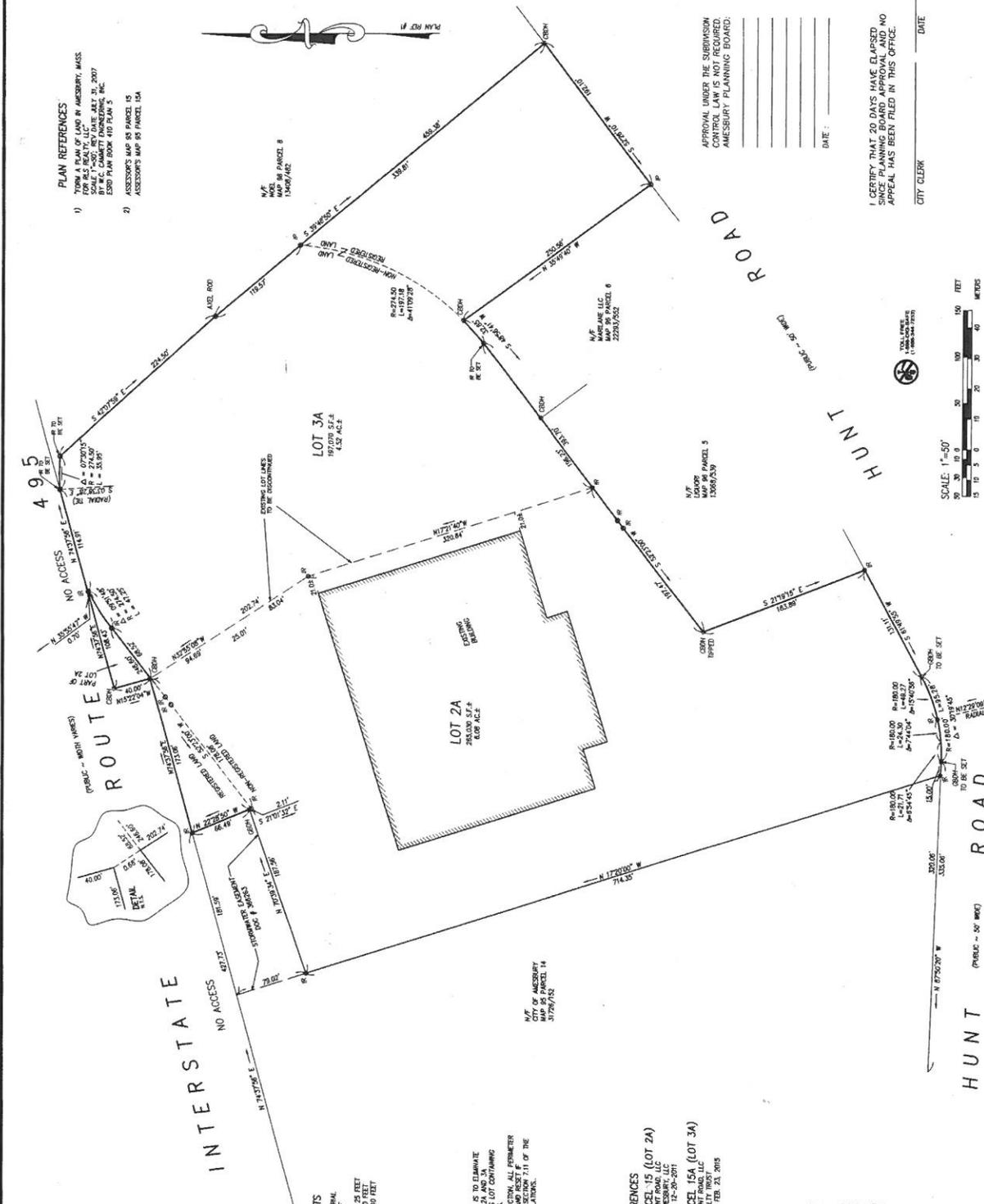
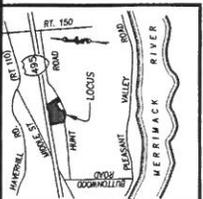
9. **Validity:** This permit is valid for only for the use and structure to the extent indicated in the application. Any changes to the site plan, uses or other improvements shown on the approved plan without the approval of the Board shall render those unauthorized improvements or changes null and void.

Chair, Amesbury Planning Board

EXHIBITS:

All plans prepared for ARC Technologies LLC, 37 Hunt Road, Amesbury, MA. 01913
 Prepared by: W.C. Cammett Engineering, Inc., 297 Elm Street Amesbury, MA 01913 unless noted otherwise.

Sheet: 1 of 13	Title Sheet Date: 8/24/2015; Last Revised: 12/28/2015
Sheet: 2 of 13	Lot Consolidation Plan Date: 8/24/2015; Last Revised: 11/30/2015
Sheet: 3 of 13	Existing Conditions Date: 8/24/2015; Last Revised: 12/28/2015
Sheet: 4 of 13	Site Plan Date: 8/24/2015; Last Revised: 12/28/2015
Sheet: 5 of 13	Grading Plan Date: 8/24/2015; Last Revised: 12/28/2015
Sheet: 6 of 13	Utilities Plan Date: 8/24/2015; Last Revised: 12/28/2015
Sheet: 7 of 13	Erosion Control Plan Date: 8/24/2015; Last Revised: 12/28/2015
Sheet: 8 of 13	Miscellaneous Details Date: 8/24/2015; Last Revised: 12/28/2015
Sheet: 9 of 13	Miscellaneous Details Date: 8/24/2015; Last Revised: 12/28/2015
Sheet: 10 of 13	Building Elevations Date: 8/25/2015 Fulcrum Inc. Architects, 22 Lafayette Road, Salisbury, MA 01952
Sheet: 11 of 13	Floor Plans Date: 11/30/2015; Last Revised: 12/28/2015 McPartland Corporation, 15 Evans Place, Amesbury MA 01913
Sheet: 12 of 13	Landscaping Plan Date: 11/30/2015; Last Revised: 12/28/2015 Mountain Top Landscaping Co., 21 Water Street, Amesbury MA
Sheet: 13 of 13	Lighting Plan Date: 12/18/2015 Langlais Group Inc, 11 Sea Pave Road, So. Windsor, CT 06074



PLAN REFERENCES

- 1) MAP 96 PARCEL 15 (LOT 2A) SCALE 1"=50', BY DATE JULY 21, 2015
- 2) MAP 96 PARCEL 15A (LOT 3A) SCALE 1"=50', BY DATE JULY 21, 2015
- 3) MAP 96 PARCEL 15B (LOT 3B) SCALE 1"=50', BY DATE JULY 21, 2015

ZONING REQUIREMENTS

DISTRICT: I - INDUSTRIAL
 MIN. LOT AREA: 40,000 SF
 MIN. FRONT SETBACK: 25 FEET
 MIN. SIDE SETBACKS: 10 FEET
 MIN. REAR SETBACK: 10 FEET
 MIN. OPEN SPACE: 50%
 MIN. OPEN SPACE: 40%

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO ELABORATE THE LOT LINE BETWEEN LOTS 2A AND 3A AND TO SHOW THE LOCATION OF THE PERMITS NECESSARY TO CONSTRUCT THE PERIMETER OF LOT 2A AND LOT 3A IN ACCORDANCE WITH THE AMESBURY SUBDIVISION REGULATIONS.

DEED REFERENCES

MAP 96 PARCEL 15 (LOT 2A)
 TO: 377 SOUTH HUNT ROAD, LLC
 FROM: R & L REALTY TRUST, LLC
 ESRO 3086/801 FEB 23, 2015

MAP 96 PARCEL 15A (LOT 3A)
 TO: 377 SOUTH HUNT ROAD, LLC
 FROM: R & L REALTY TRUST, LLC
 ESRO 3086/801 FEB 23, 2015

I CERTIFY,

- 1) THE PREPARATION OF THIS PLAN CONFORMS TO THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE COMMONWEALTH OF MASSACHUSETTS.
- 2) THE CERTIFICATION SHOWN HEREON IS INTENDED TO MEET THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE COMMONWEALTH OF MASSACHUSETTS AND TO SHOW THE LOCATION OF THE PERMITS NECESSARY TO CONSTRUCT THE PERIMETER OF LOT 2A AND LOT 3A IN ACCORDANCE WITH THE AMESBURY SUBDIVISION REGULATIONS.

P.L.S. _____ DATE _____



APPROVAL UNDER THE SUBDIVISION REGULATIONS OF THE COMMONWEALTH OF MASSACHUSETTS:

AMESBURY PLANNING BOARD:

DATE: _____

CITY CLERK: _____ DATE: _____

FOR REGENCY USE ONLY

CANNETT ENGINEERS & ARCHITECTS
 297 ELM STREET, AMESBURY, MA
 CONSULTING ENGINEERS & ARCHITECTS SINCE 1975
 1460/1462
 WWW.CANNETTENGINEERS.COM

LOT CONSOLIDATION PLAN

Project Title: Arc Technologies, Inc.
 29 South Hunt Road
 Amesbury, Ma.

Applicant: Arc Technologies, Inc.
 37 South Hunt Road
 Amesbury, Ma.

Checker: 37 S. Hunt Road LLC
 37 South Hunt Road
 Amesbury, Ma.

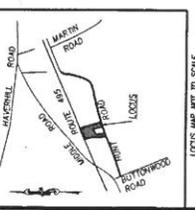
NO.	DATE	DESCRIPTION	BY
1	11-30-15	MISC. - STATUTE REVIEW	DH

DATE: _____

PROJ. MGR.: R. SMITH
 DESIGNED: R. SMITH
 CHECKED: W. CANNETT
 DATE: 08-27-15
 DRAWN: K. L. GREGG
 JOB # 1461

SHEET PL-1

SITE PLAN APPROVED BY AMESBURY PLANNING BOARD ON 01/11/2017 AND CONDITIONS AS SET FORTH IN THE PLANNING BOARD DECISION DATED 01/11/2017 RECORDED IN THE REGISTRY OF DEEDS.



LOCUST MAP NOT TO SCALE

NOTES:

- 1) THE LOCATION OF EXISTING UTILITIES ARE SHOWN ON PLAN AND ON DETAIL. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE COMMENCING WORK, AND ADDRESS ANY CHANGES THAT MAY BE NECESSARY TO THE PROJECT. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES CAUSED BY THE PROJECT.
- 2) THESE ARE THE EXISTING CONDITIONS AS OF JANUARY 20, 2017. THESE WERE TAKEN FROM AERIALS DURING FIELD SURVEY. THESE AERIALS CONTAIN MARKS WITH THE SYMBOL "M".
- 3) METEOROLOGICAL DATA FROM THE AMESBURY WEATHER STATION IS USED FOR ALL WEATHER DATA.
- 4) THE PROJECT SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE 2012 INTERNATIONAL BUILDING CODE (IBC) AND THE 2012 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IMC).
- 5) THE PROJECT SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE 2012 INTERNATIONAL FIRE CODE (IFC) AND THE 2012 INTERNATIONAL SAFETY CODE (ISC).
- 6) THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS ASSOCIATED WITH OBTAINING PERMITS AND APPROVALS.
- 7) THE FUTURE PARKING SPACES INDICATED ON THE PLAN WILL BE CONSTRUCTED AT THE DISCRETION OF THE OWNER. THE ENGINEER WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THESE SPACES.
- 8) THIS PROJECT WILL COMPLY WITH THE REQUIREMENTS OF THE 2012 INTERNATIONAL BUILDING CODE (IBC) AND THE 2012 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IMC) UNLESS NOTED OTHERWISE BY THE ENGINEER.

NOTES 'A'

SHOW CUT EXISTING PAVEMENT AND PATCH AS SHOWN ON PLAN AND ON DETAIL. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE COMMENCING WORK, AND ADDRESS ANY CHANGES THAT MAY BE NECESSARY TO THE PROJECT. THE ENGINEER WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES CAUSED BY THE PROJECT.

ZONING REQUIREMENTS

ZONING DISTRICT - INDUSTRIAL
 MINIMUM LOT AREA - 40,000 SF
 MINIMUM FRONTAGE - 125'
 MINIMUM SETBACKS -
 FRONT - 20'
 SIDE - 20'
 REAR - 40'
 MAXIMUM BUILDING HEIGHT - 40'
 MAXIMUM BUILDING AREA - 50%
 MINIMUM OPEN SPACE - 40%

I CERTIFY THAT 90 DAYS HAVE ELAPSED SINCE PLANNING BOARD DECISION AND APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE: _____ CITY CLERK: _____

I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

DATE: _____

Site Data
 MAX. BUILDING COVERAGE - 50%
 MIN. OPEN SPACE - 40%
 COMBINED SITE AREA - 462,096 SF
 TOTAL BUILDING AREA - 138,113 SF
 TOTAL OPEN SPACE - 162,850 SF
 BUILDING COVERAGE PROVIDED - 30.0%
 OPEN SPACE PROVIDED - 41.7%

PARKING PROVIDED - INDUSTRIAL
 1 SPACE / 500 SF OF GROSS FLOOR AREA
 EXISTING BUILDING - FIRST FLOOR - 185 SF (INDUSTRIAL) SECOND - 78,563 SF
 TOTAL - 78,563 SF
 PROP. BUILDING (INDUSTRIAL) - TOTAL 68,698 SF
 TOTAL GROSS FLOOR AREA - 147,261 SF
 TOTAL PARKING REQUIRED - 147,261 / 500 = 294 SPACES
 PARKING PROVIDED - EXISTING - 185 SPACES
 PROPOSED - 13 SPACES
 TOTAL - 212 SPACES
 FUTURE PARKING - 83 (SEE NOTE BELOW)
 TOTAL PARKING AVAILABLE - 295

LOADING PROVIDED - 6
 1 PER 20,000 SF OF GROSS FLOOR AREA PLUS 1 ADDITIONAL FOR EACH 60,000 SF
 GFA = 147,261 SF
 LOADING PROVIDED - 6

NOTE: ALL FUTURE PARKING SPACES SHALL BE CONSTRUCTED AT THE DISCRETION OF THE OWNER. THE ENGINEER WILL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THESE SPACES. PAVEMENT AS SHOWN ON DETAIL & SHEET D1-1.

SCALE: 1" = 40'
 METERS: 0 5 10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100

ARC TECHNOLOGIES, INC. 29 SOUTH HUNT ROAD AMESBURY, MA.

ARC TECHNOLOGIES, INC. 37 SOUTH HUNT ROAD AMESBURY, MA.

37 S HUNT ROAD LLC 37 SOUTH HUNT ROAD AMESBURY, MA.

REVISED: 12-20-17
 1 12-20-17: MEASUREMENTS REVIEW
 2 12-20-17: MEASUREMENTS REVIEW

DATE: 12-28-2015
 PROJECT: 19-28-2015
 DESIGNER: D. HANDEL
 CHECKED: K. HOSKIN, W. CANNETT
 DATE: 03-24-2015
 FILE: C:\PROJECTS\19-28-2015\19-28-2015.dwg
 USER: K. HOSKIN
 PLOT: 1/1

PROJ. NO.: 19-28-2015
 SHEET: 5P-1

ARC TECHNOLOGIES, INC. 29 SOUTH HUNT ROAD AMESBURY, MA.

ARC TECHNOLOGIES, INC. 37 SOUTH HUNT ROAD AMESBURY, MA.

37 S HUNT ROAD LLC 37 SOUTH HUNT ROAD AMESBURY, MA.

REVISED: 12-20-17
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DATE: 12-28-2015
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 DESIGNER: D. HANDEL
 CHECKED: K. HOSKIN, W. CANNETT
 DATE: 03-24-2015
 FILE: C:\PROJECTS\19-28-2015\19-28-2015.dwg
 USER: K. HOSKIN
 PLOT: 1/1

PROJ. NO.: 19-28-2015
 SHEET: 5P-1

ARC TECHNOLOGIES, INC. 29 SOUTH HUNT ROAD AMESBURY, MA.

ARC TECHNOLOGIES, INC. 37 SOUTH HUNT ROAD AMESBURY, MA.

37 S HUNT ROAD LLC 37 SOUTH HUNT ROAD AMESBURY, MA.

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 2 12-20-17: MEASUREMENTS REVIEW

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 DESIGNER: D. HANDEL
 CHECKED: K. HOSKIN, W. CANNETT
 DATE: 03-24-2015
 FILE: C:\PROJECTS\19-28-2015\19-28-2015.dwg
 USER: K. HOSKIN
 PLOT: 1/1

PROJ. NO.: 19-28-2015
 SHEET: 5P-1

ARC TECHNOLOGIES, INC. 29 SOUTH HUNT ROAD AMESBURY, MA.

ARC TECHNOLOGIES, INC. 37 SOUTH HUNT ROAD AMESBURY, MA.

37 S HUNT ROAD LLC 37 SOUTH HUNT ROAD AMESBURY, MA.

REVISED: 12-20-17
 1 12-20-17: MEASUREMENTS REVIEW
 2 12-20-17: MEASUREMENTS REVIEW

DATE: 12-28-2015
 PROJECT: 19-28-2015
 DESIGNER: D. HANDEL
 CHECKED: K. HOSKIN, W. CANNETT
 DATE: 03-24-2015
 FILE: C:\PROJECTS\19-28-2015\19-28-2015.dwg
 USER: K. HOSKIN
 PLOT: 1/1

SITE PLAN APPROVED BY AMESBURY PLANNING BOARD TO THE FINDINGS AND CONCLUSIONS OF THE PLANNING BOARD DECISION DATED _____ AND TO BE RECORDED IN THE REGISTRY OF DEEDS.

GAMMELL
ENGINEERS
297 ELM STREET, AMESBURY, MA
PHONE: (978) 388-2157 FAX: (978) 388-0028
CONSULTING ENGINEERS &
LAND SURVEYORS SINCE 1976
Visit us on the Web at www.gammell.com

Grading Plan

Project Title: _____ DATE: _____

Arc Technologies, Inc.
29 South Hunt Road
Amesbury, Ma.

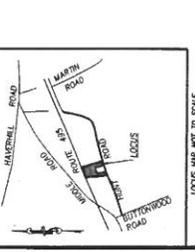
APPLICANT:
Arc Technologies, Inc.
37 South Hunt Road
Amesbury, Ma.

OWNER:
37 S. Hunt Road LLC
37 South Hunt Road
Amesbury, Ma.

NO.	DATE	REVISION	BY
1	11-20-13	MISC. - STAMPEC	REVIEW DH
2	12-28-13	MISC. - STAMPEC	REVIEW DH

Seal of the State of Massachusetts
Professional Engineer
D. HANDEL
12-20-2015

PROJ. MGR.: D. HANDEL
FIELD ENG.: K. BROWN, M. MICHARD
DRAFTER: D. HANDEL
CHECKED: A. RIZZOLO, W. GAMMELL
DATE: 08-24-2015
SCALE: 1"=10'-0"
JOB # 14061



- NOTES:**
- 1) THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER AND HAVE NOT BEEN VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BEFORE THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO EXISTING UTILITIES CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.
 - 2) THESE ARE THE EXISTING CONDITIONS AS OF JANUARY 21, 2015. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AT THE TIME OF CONSTRUCTION. THESE VERIFY ELEVATIONS ARE MARKED WITH THE SYMBOL SHOWN ON NOVEMBER 14, 2014.
 - 3) METERS DEMONSTRATED BY BASSANDS WELAND CONSULTING ENGINEERS.
 - 4) THE PROJECT AREA LIES WITHIN A ZONE X BASED ON THE MASSACHUSETTS STATE MAP 2009C.0004.F, EFFECTIVE DATE JULY 3, 2012.
 - 5) ELEVATION DATUM IS TAKEN FROM THE SOUTH HUNT ROAD RECONSTRUCTION PROJECT OF 1997 BASED ON THE 1928 NGVD DATUM.

I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

DATE: _____

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE THE PLAN HAS BEEN FILED AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

CITY CLERK: _____ DATE: _____



SHEET GR-1

THIS PLAN APPROVED BY AMESBURY CITY PLANNING BOARD ON [DATE] AND CONDITIONS AS SET FORTH IN THE PLANNING BOARD DECISION DATED [DATE] IS HEREBY RECORDED IN THE REGISTRY OF DEEDS.

GANNETT
ENGINEERS ARCHITECTS

297 ELM STREET, AMESBURY, MA
PHONE: (978) 388-2157 FAX: (978) 388-0428
LAND SURVEYORS SINCE 1975
Map is on file at the REGISTRY OF DEEDS

Utility Plan

Arc Technologies, Inc.
29 South Hunt Road
Amesbury, Ma.

Arc Technologies, Inc.
37 South Hunt Road
Amesbury, Ma.

37 S. Hunt Road LLC
37 South Hunt Road
Amesbury, Ma.

NO.	DATE	REVISION	BY
1	11-20-13	MISC. - STATUTE REVIEW	DAI
2	2-28-13	MISC. - STATUTE REVIEW	DAI

PROJ. MGR: D. HANRED
FIELD: K. BROWN, M. MICHARD
DESIGN: D. HANRED, D. HANRED
CHECKED: A. ROSCOCK, W. CARNAFFIT
DATE: 06-27-2015
SCALE: 1"=40'
JOB # 140617E (REV) 0403
SHEET UT-1

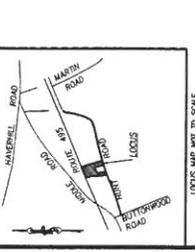
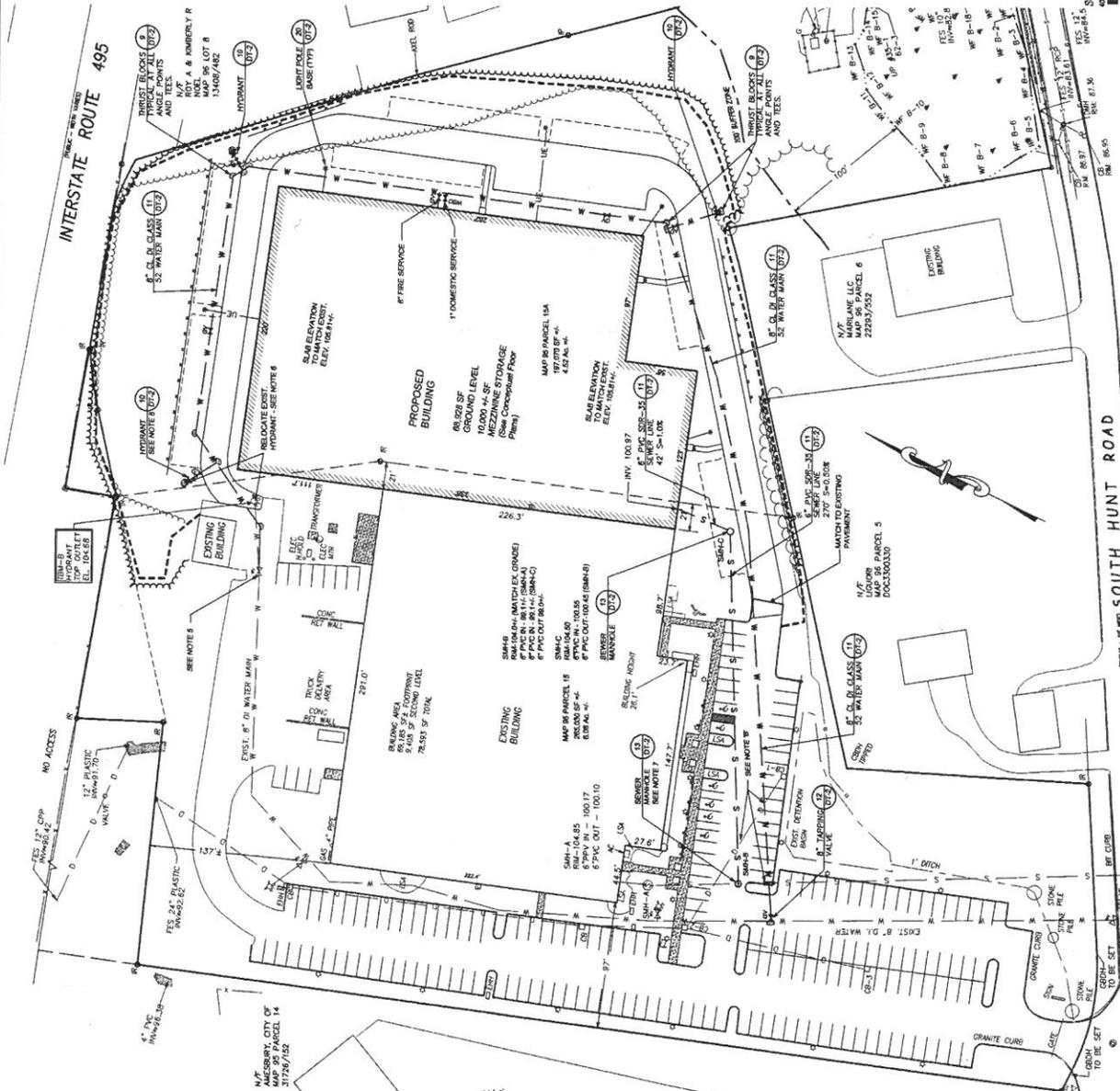
DATE _____

I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

DATE _____

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

Note 'B'
PROPOSED WATER MAIN SHALL CROSS UNDER THE PROPOSED SEWER PIPE. WILL CROSS OVER EXISTING CB-1 AGE PIPE CB-2 R-103.04' R-103.14' EXISTING DRAIN PIPE IS 12" ADS FROM CB-1 TO EXISTING WATER PIPE. WILL CROSS UNDER EXISTING WATER PIPE ENCASE EXISTING SEWER DT-1 WITH CONCRETE. SEE DETAIL 20 ON SHEET



- NOTES:**
- 1) THE LOCATION OF EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN VERIFIED BY THE OWNER. THE OWNER SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UTILITIES TO BE FULLY RESPONSIBLE FOR ANY AND ALL CONSTRUCTION DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND ALL UTILITIES.
 - 2) THESE ARE THE EXISTING CONDITIONS AS OF JANUARY 21, 2015. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THESE EXISTING CONDITIONS AND ELEVATIONS ARE MAPPED WITH THE 2014 SURVEY.
 - 3) UTILITIES DERIVED BY BUSINESS WELAND CONSULTING ON NOVEMBER 14, 2014.
 - 4) THE PROJECT AREA LIES WITHIN A ZONE X BASED UPON FLOOD INSURANCE RATE MAP 20060C DIRM F, WHICH IS EFFECTIVE APRIL 4, 2015.
 - 5) SERVICE TO THE EXISTING HYDRANT, CONNECT NEW 8" DI WATER MAIN TO EXISTING 8" DI WATER MAIN.
 - 6) RELOCATE EXISTING HYDRANT TO NEW LOCATION AND NEW 8" DI GATE VALVE FOR SERVICE TO THE RELOCATED HYDRANT.
 - 7) CUT EXISTING 8" PVC SEWER LINE #1 ON EACH LOCATION. INSTALL NEW SEWER MANHOLE. CONNECT THE EXISTING 8" PVC SEWER PIPE TO THE NEW SEWER MANHOLE. INSTALL NEW 8" PVC 8" DI SEWER LINE TO SHAW-C.
 - 8) VERIFY THE EXISTING 8" DI WATER MAIN. VERIFY THE EXISTING 8" DI WATER MAIN RECONSTRUCTION PROJECT OF 1997 BASED ON GPS OBSERVATIONS AND IS BASED ON THE 2014 SURVEY.

SEE NOTE 8
SEE NOTE 9
SEE NOTE 10
SEE NOTE 11
SEE NOTE 12
SEE NOTE 13
SEE NOTE 14
SEE NOTE 15
SEE NOTE 16
SEE NOTE 17
SEE NOTE 18
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SEE NOTE 95
SEE NOTE 96
SEE NOTE 97
SEE NOTE 98
SEE NOTE 99
SEE NOTE 100

I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

DATE _____

CITY CLERK _____

I CERTIFY THAT 20 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE _____

CITY CLERK _____

GENERAL NOTES:

HAZARDOUS WASTE STORAGE AREAS AND SANITARY FACILITIES SHALL BE LOCATED OUTSIDE THE 100 FOOT BUFFER ZONES FROM REGULATED RESOURCE AREAS DURING CONSTRUCTION PHASE.

ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE AMESBURY PLANNING BOARD AFTER CONSULTATION WITH THE AMESBURY PLANNING BOARD OR ITS DESIGNATED AGENT.

THE SITE CONTRACTOR SHALL SUBMIT A DETAILED PLAN FOR APPROVAL BY THE AMESBURY PLANNING BOARD THIS DATE THE START OF CONSTRUCTION. DETAILED LOCATIONS SHALL BE SHOWN ON A SITE PLAN AS PART OF THIS SUBMITTAL.

NO MACHINERY WILL BE OPERATED WITHIN ANY OF ANY RESOURCE AREA, AND ALL MACHINERY WILL BE INSPECTED DAILY FOR LEAKS OF FUELS, OILS, CHEMICALS, ANTIFROSTERS, DEFROSTERS, HYDROCARBONS, AND SHALL NOT BE USED OR STORED WITHIN ANY BUFFER ZONES.

CONSTRUCTION SEQUENCE

INSTALL PERMANENT CONTROL (BUILT SOOD) AND CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS PRIOR TO ANY EARTHWORK ACTIVITY.

CLEAR AND GRUB THE SITE WITHIN THE LIMIT OF WORK AND REMOVE OF UNSUITABLE MATERIALS OFF SITE.

INSTALL PERMANENT CONTROL (BUILT SOOD) AND CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS PRIOR TO ANY EARTHWORK ACTIVITY.

INSTALL PERMANENT CONTROL (BUILT SOOD) AND CONSTRUCTION ENTRANCE AS SHOWN ON THE PLANS PRIOR TO ANY EARTHWORK ACTIVITY.

CONCRETE WASHOUT AREAS

TEMPORARY CONCRETE WASHOUT AREAS SHALL BE CONSTRUCTED AT LOCATIONS IDENTIFIED ON THE PLANS. THE AREA SHALL BE CONSTRUCTED BELOW GRADE APPROXIMATELY TEN FEET DEEP, THREE FEET WIDE AND TEN FEET LONG. THE AREA SHALL BE LINED WITH 10 MIL THICK PLASTIC LINING. SURFACE SHALL BE PROVIDED IDENTIFYING WASHOUT AREAS.

EXCESS CONCRETE AND/OR WASHOUT MATERIAL FROM THE CONCRETE TRUCKS SHALL BE DISCHARGED TO THE WASHOUT AREA OR DEPOSED OFF SITE.

UPON COMPLETION OF WORK FOR THE WASHOUT AREA, THE HANDED CONCRETE SHALL BE REMOVED AND DISPOSED OF. THE AREA WILL BE FILLED, GROUND, AND STABILIZED.

THE WASHOUT AREA WILL BE CONSTRUCTED PRIOR TO THE USE OF CONCRETE MATERIALS.

THE WASHOUT AREA WILL BE INSPECTED ON A DAILY BASIS DURING CONCRETE OPERATIONS TO ENSURE NO TEARS IN AVAILABLE CAPACITY.

CAMMETT
INTEGRATED SERVICES

297 ELM STREET, AMESBURY, MA
Phone: (978) 389-5157 Fax: (978) 389-0428
LAND SURVEYORS SINCE 1978
Visit us on the web at www.cammett.com

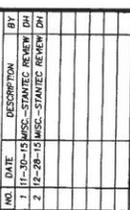
Erosion Control Plan

Arc Technologies, Inc.
29 South Hunt Road
Amesbury, Ma.

Arc Technologies, Inc.
37 South Hunt Road
Amesbury, Ma.

37 S. Hunt Road LLC
37 South Hunt Road
Amesbury, Ma.

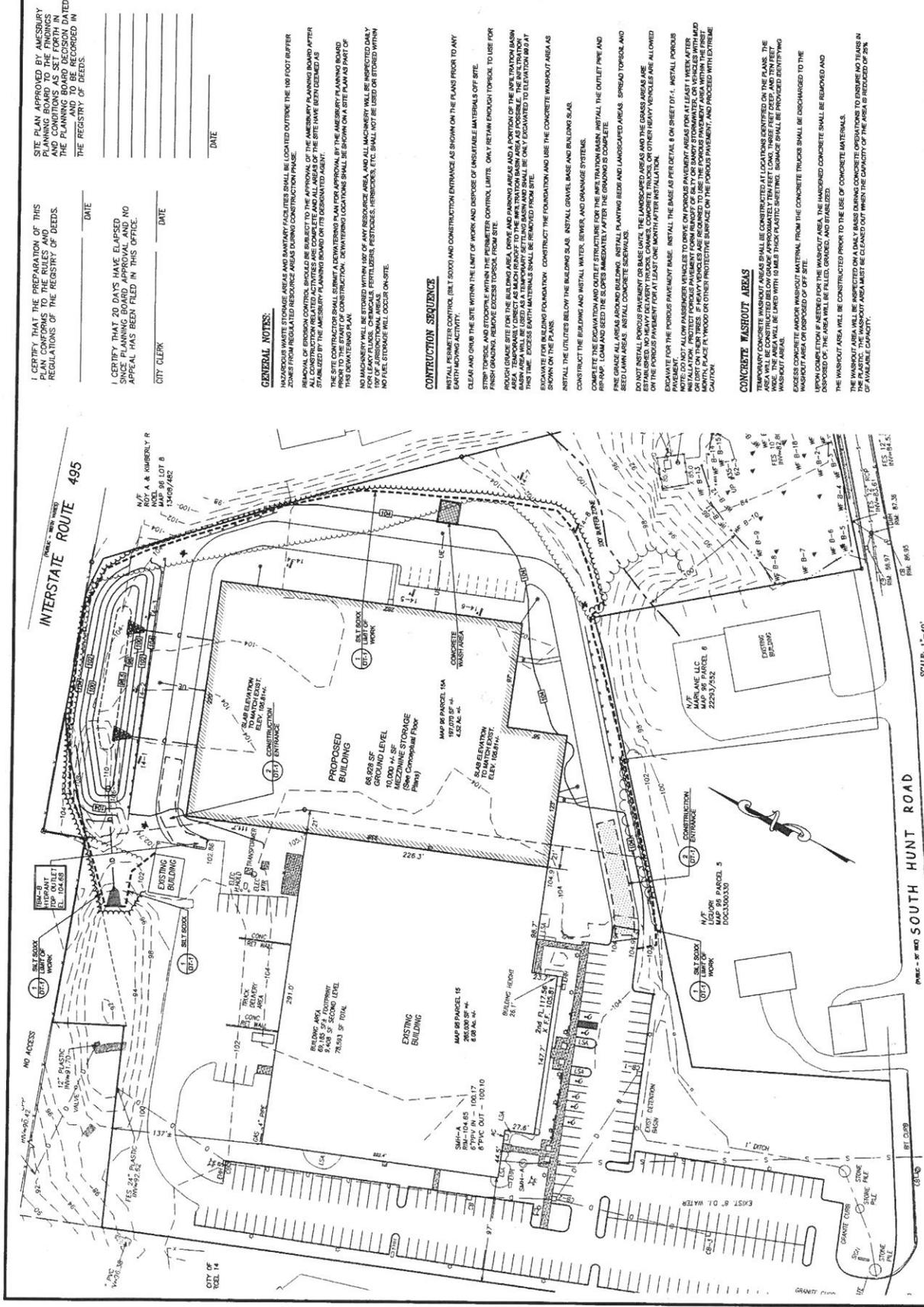
NO.	DATE	DESCRIPTION	BY
1	11-30-15	ISSUE - STATED	REVIEW DH
2	12-28-15	ISSUE - STATED	REVIEW DH

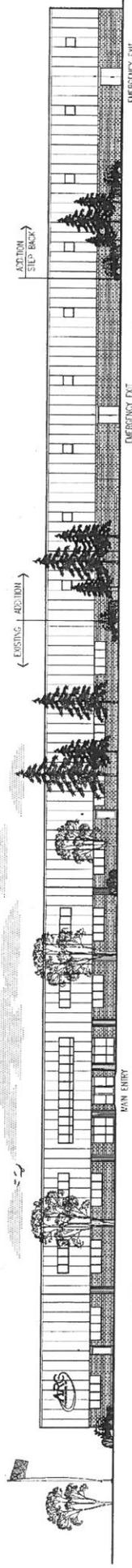


Drawn: D. Hand
12/28/2015

FIELD: R. Down, M. McDermott
DESIGN: D. Hand
CHECKED: D. Hand
DATE: 08-24-2015
FILE: E.A. W.201.406.175.C01.dwg
JOB #: 671
SHEET: 14661

SHEET EC-1





PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

FULCRUM, INC.
ARCHITECTS
22 LAFAYETTE RD
SALISBURY, MA 01962
Tel: 978-462-5151
eFax: 978-359-00698
design@fulcrumarchitects.com

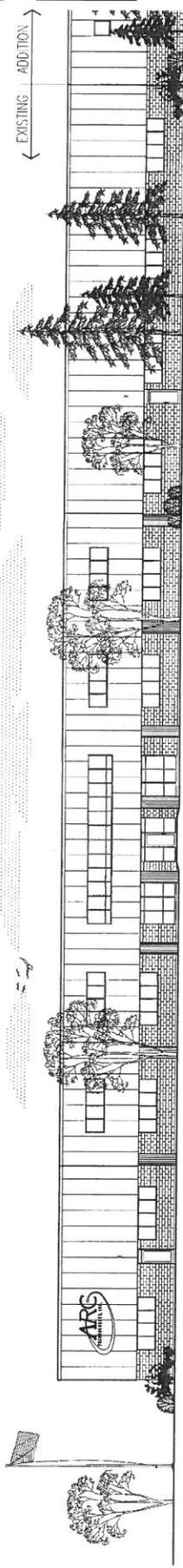
JSN
Associates, Inc.
One Commercial Center
Northborough, MA 01532
Tel: (833) 471-2811
www.jsn.com

MCPARTLAND
CORPORATION
18 EVANS PLAZA
Amesbury, MA 01915
Cell: (978) 818-8869
jpm@mcpartlandcorp.com

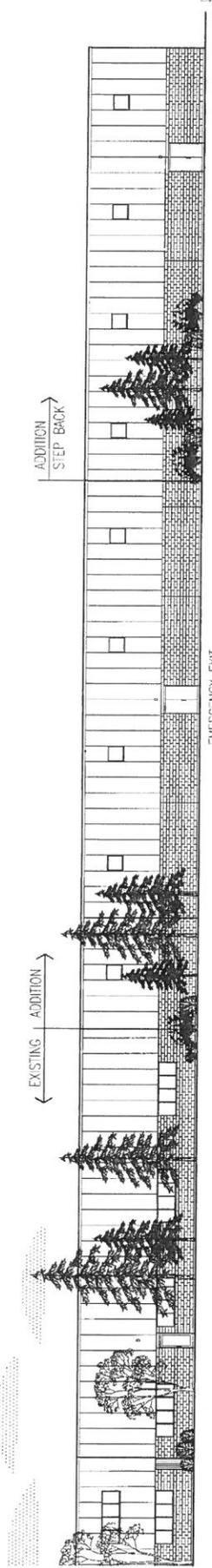
PROJECT:
ARC TECHNOLOGIES, INC.
SOUTH HUNT ROAD
AMESBURY, MA 01913

DATE: 08/27/2013
DATE REVISION: 07/27/2013
DATE REVISION: 07/27/2013
SCALE: 1/8" = 1'-0"
DRAWN BY: JAC/TJC
CHECKED BY: JAC/TJC

3-SET NUMBER:
A-1



EXISTING SOUTH ELEVATION
3/8" = 1'-0"



PROPOSED ADDITION SOUTH ELEVATION
3/8" = 1'-0"

I CERTIFY THAT THE PREPARATION OF THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS, AND TO BE RECORDED IN THE REGISTRY OF DEEDS.

I CERTIFY THAT 90 DAYS HAVE ELAPSED SINCE PLANNING BOARD APPROVAL AND NO APPEAL HAS BEEN FILED IN THIS OFFICE.

DATE _____
 CITY CLERK _____
 DATE _____

Landscape Design by
Mountain Top Landscape Co.
 21 Water Street
 Amesbury, MA 01913

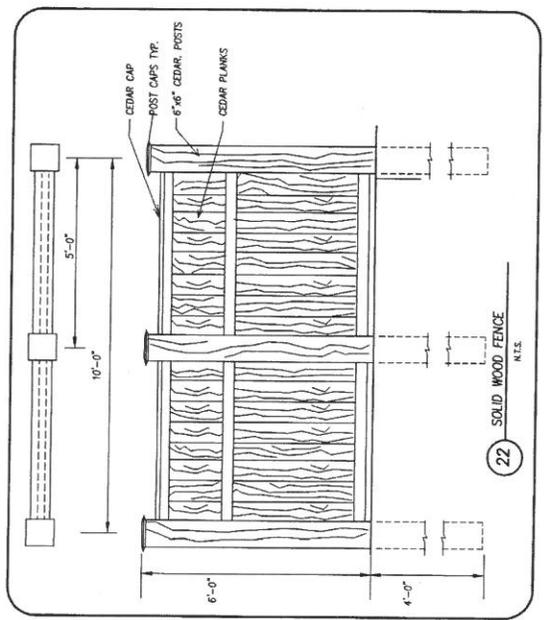
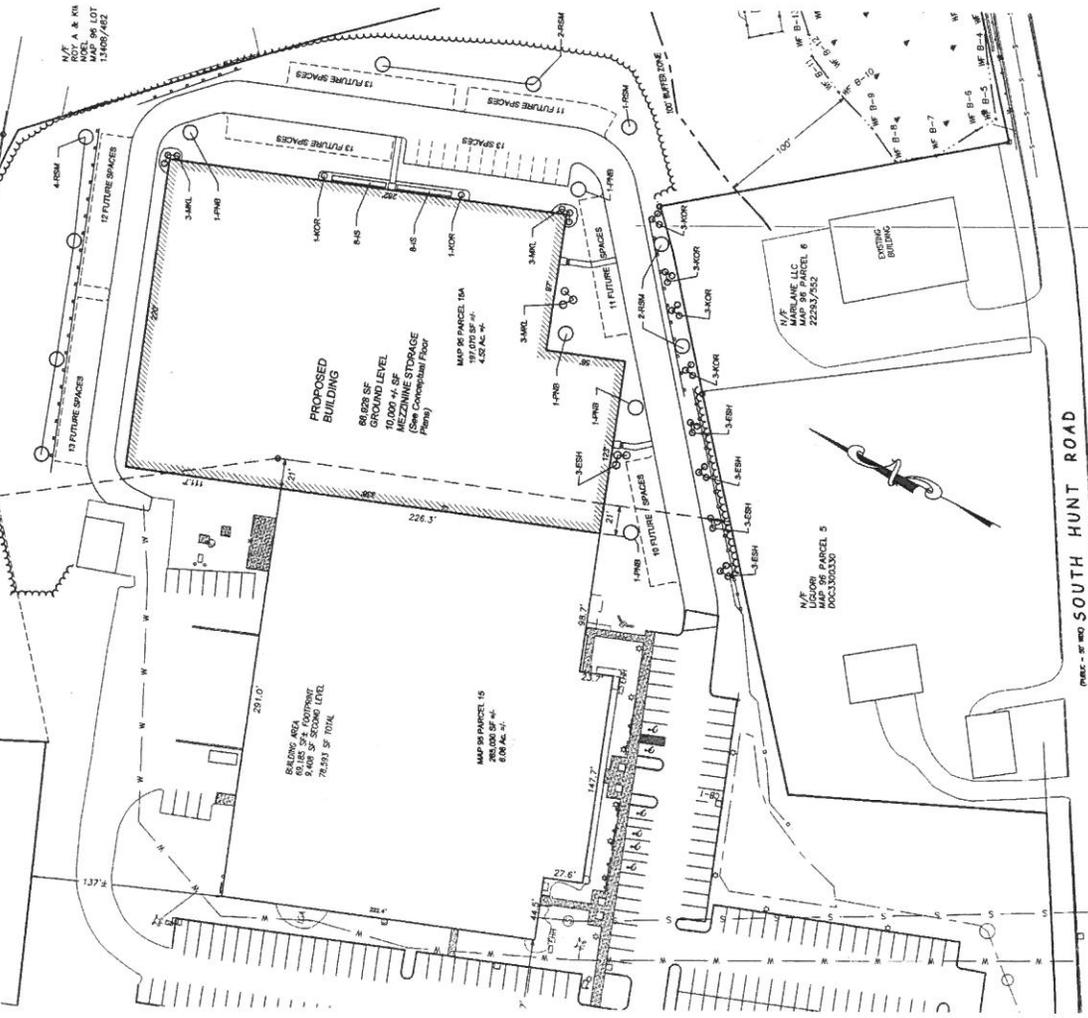
Landscape Plan
 Project Title
Arc Technologies, Inc.
 29 South Hunt Road
 Amesbury, Ma.

Architect
Arc Technologies, Inc.
 37 South Hunt Road
 Amesbury, Ma.
 Owner
37 S. Hunt Road LLC
 37 South Hunt Road
 Amesbury, Ma.

NO.	DATE	DESCRIPTION	BY
2	12-28-15	ADD FENCE & PLANTS ON	

Drawn
 PROJ. MGR. x
 FIELD x
 DESIGNER x
 CHECKED x
 DATE 11-30-2015
 FILE #
 JOB #
 SHEET 15-1

INTERSTATE ROUTE 495



PLANT LIST

QTY	BOTANICAL NAME	COMMON NAME	SIZE
5	PNB	Pinus strobus	3-3.5' C
15	ESH	Euonymus alatus	#10
9	MKL	Malus domestica	3-4'
14	KOR	Koeleria palustris	#10
16	IS	Ilex glabra	2.5-3'
8	RSM	Rosa rugosa	3-3.5' C

Design by Matt Bailey of Mountain Top Landscape Co.
 Note: Type, Location, and quantity of plants and trees shown may be modified by Owner during the construction process, as approved by the Amesbury Planning Board. (See Conditions of Approval)



SCALE: 1"=40'

PARCEL 5 OF 100 SOUTH HUNT ROAD

MAP 96 PARCEL 6 22253/532

MAP 96 PARCEL 5 0003300330

MAP 96 PARCEL 15 0003300330

MAP 96 PARCEL 10A 452 AL-4

MAP 96 PARCEL 10B 452 AL-4

MAP 96 PARCEL 10C 452 AL-4

MAP 96 PARCEL 10D 452 AL-4

MAP 96 PARCEL 10E 452 AL-4

MAP 96 PARCEL 10F 452 AL-4

MAP 96 PARCEL 10G 452 AL-4

MAP 96 PARCEL 10H 452 AL-4

MAP 96 PARCEL 10I 452 AL-4

MAP 96 PARCEL 10J 452 AL-4

MAP 96 PARCEL 10K 452 AL-4

MAP 96 PARCEL 10L 452 AL-4

MAP 96 PARCEL 10M 452 AL-4

MAP 96 PARCEL 10N 452 AL-4

MAP 96 PARCEL 10O 452 AL-4

MAP 96 PARCEL 10P 452 AL-4

MAP 96 PARCEL 10Q 452 AL-4

MAP 96 PARCEL 10R 452 AL-4

MAP 96 PARCEL 10S 452 AL-4

MAP 96 PARCEL 10T 452 AL-4

MAP 96 PARCEL 10U 452 AL-4

MAP 96 PARCEL 10V 452 AL-4

MAP 96 PARCEL 10W 452 AL-4

MAP 96 PARCEL 10X 452 AL-4

MAP 96 PARCEL 10Y 452 AL-4

MAP 96 PARCEL 10Z 452 AL-4

MAP 96 PARCEL 10AA 452 AL-4

MAP 96 PARCEL 10AB 452 AL-4

MAP 96 PARCEL 10AC 452 AL-4

MAP 96 PARCEL 10AD 452 AL-4

MAP 96 PARCEL 10AE 452 AL-4

MAP 96 PARCEL 10AF 452 AL-4

MAP 96 PARCEL 10AG 452 AL-4

MAP 96 PARCEL 10AH 452 AL-4

MAP 96 PARCEL 10AI 452 AL-4

MAP 96 PARCEL 10AJ 452 AL-4

MAP 96 PARCEL 10AK 452 AL-4

MAP 96 PARCEL 10AL 452 AL-4

MAP 96 PARCEL 10AM 452 AL-4

MAP 96 PARCEL 10AN 452 AL-4

MAP 96 PARCEL 10AO 452 AL-4

MAP 96 PARCEL 10AP 452 AL-4

MAP 96 PARCEL 10AQ 452 AL-4

MAP 96 PARCEL 10AR 452 AL-4

MAP 96 PARCEL 10AS 452 AL-4

MAP 96 PARCEL 10AT 452 AL-4

MAP 96 PARCEL 10AU 452 AL-4

MAP 96 PARCEL 10AV 452 AL-4

MAP 96 PARCEL 10AW 452 AL-4

MAP 96 PARCEL 10AX 452 AL-4

MAP 96 PARCEL 10AY 452 AL-4

MAP 96 PARCEL 10AZ 452 AL-4

MAP 96 PARCEL 10BA 452 AL-4

MAP 96 PARCEL 10BB 452 AL-4

MAP 96 PARCEL 10BC 452 AL-4

MAP 96 PARCEL 10BD 452 AL-4

MAP 96 PARCEL 10BE 452 AL-4

MAP 96 PARCEL 10BF 452 AL-4

MAP 96 PARCEL 10BG 452 AL-4

MAP 96 PARCEL 10BH 452 AL-4

MAP 96 PARCEL 10BI 452 AL-4

MAP 96 PARCEL 10BJ 452 AL-4

MAP 96 PARCEL 10BK 452 AL-4

MAP 96 PARCEL 10BL 452 AL-4

MAP 96 PARCEL 10BM 452 AL-4

MAP 96 PARCEL 10BN 452 AL-4

MAP 96 PARCEL 10BO 452 AL-4

MAP 96 PARCEL 10BP 452 AL-4

MAP 96 PARCEL 10BQ 452 AL-4

MAP 96 PARCEL 10BR 452 AL-4

MAP 96 PARCEL 10BS 452 AL-4

MAP 96 PARCEL 10BT 452 AL-4

MAP 96 PARCEL 10BU 452 AL-4

MAP 96 PARCEL 10BV 452 AL-4

MAP 96 PARCEL 10BW 452 AL-4

MAP 96 PARCEL 10BX 452 AL-4

MAP 96 PARCEL 10BY 452 AL-4

MAP 96 PARCEL 10BZ 452 AL-4

MAP 96 PARCEL 10CA 452 AL-4

MAP 96 PARCEL 10CB 452 AL-4

MAP 96 PARCEL 10CC 452 AL-4

MAP 96 PARCEL 10CD 452 AL-4

MAP 96 PARCEL 10CE 452 AL-4

MAP 96 PARCEL 10CF 452 AL-4

MAP 96 PARCEL 10CG 452 AL-4

MAP 96 PARCEL 10CH 452 AL-4

MAP 96 PARCEL 10CI 452 AL-4

MAP 96 PARCEL 10CJ 452 AL-4

MAP 96 PARCEL 10CK 452 AL-4

MAP 96 PARCEL 10CL 452 AL-4

MAP 96 PARCEL 10CM 452 AL-4

MAP 96 PARCEL 10CN 452 AL-4

MAP 96 PARCEL 10CO 452 AL-4

MAP 96 PARCEL 10CP 452 AL-4

MAP 96 PARCEL 10CQ 452 AL-4

MAP 96 PARCEL 10CR 452 AL-4

MAP 96 PARCEL 10CS 452 AL-4

MAP 96 PARCEL 10CT 452 AL-4

MAP 96 PARCEL 10CU 452 AL-4

MAP 96 PARCEL 10CV 452 AL-4

MAP 96 PARCEL 10CW 452 AL-4

MAP 96 PARCEL 10CX 452 AL-4

MAP 96 PARCEL 10CY 452 AL-4

MAP 96 PARCEL 10CZ 452 AL-4

MAP 96 PARCEL 10DA 452 AL-4

MAP 96 PARCEL 10DB 452 AL-4

MAP 96 PARCEL 10DC 452 AL-4

MAP 96 PARCEL 10DD 452 AL-4

MAP 96 PARCEL 10DE 452 AL-4

MAP 96 PARCEL 10DF 452 AL-4

MAP 96 PARCEL 10DG 452 AL-4

MAP 96 PARCEL 10DH 452 AL-4

MAP 96 PARCEL 10DI 452 AL-4

MAP 96 PARCEL 10DJ 452 AL-4

MAP 96 PARCEL 10DK 452 AL-4

MAP 96 PARCEL 10DL 452 AL-4

MAP 96 PARCEL 10DM 452 AL-4

MAP 96 PARCEL 10DN 452 AL-4

MAP 96 PARCEL 10DO 452 AL-4

MAP 96 PARCEL 10DP 452 AL-4

MAP 96 PARCEL 10DQ 452 AL-4

MAP 96 PARCEL 10DR 452 AL-4

MAP 96 PARCEL 10DS 452 AL-4

MAP 96 PARCEL 10DT 452 AL-4

MAP 96 PARCEL 10DU 452 AL-4

MAP 96 PARCEL 10DV 452 AL-4

MAP 96 PARCEL 10DW 452 AL-4

MAP 96 PARCEL 10DX 452 AL-4

MAP 96 PARCEL 10DY 452 AL-4

MAP 96 PARCEL 10DZ 452 AL-4

MAP 96 PARCEL 10EA 452 AL-4

MAP 96 PARCEL 10EB 452 AL-4

MAP 96 PARCEL 10EC 452 AL-4

MAP 96 PARCEL 10ED 452 AL-4

MAP 96 PARCEL 10EE 452 AL-4

MAP 96 PARCEL 10EF 452 AL-4

MAP 96 PARCEL 10EG 452 AL-4

MAP 96 PARCEL 10EH 452 AL-4

MAP 96 PARCEL 10EI 452 AL-4

MAP 96 PARCEL 10EJ 452 AL-4

MAP 96 PARCEL 10EK 452 AL-4

MAP 96 PARCEL 10EL 452 AL-4

MAP 96 PARCEL 10EM 452 AL-4

MAP 96 PARCEL 10EN 452 AL-4

MAP 96 PARCEL 10EO 452 AL-4

MAP 96 PARCEL 10EP 452 AL-4

MAP 96 PARCEL 10EQ 452 AL-4

MAP 96 PARCEL 10ER 452 AL-4

MAP 96 PARCEL 10ES 452 AL-4

MAP 96 PARCEL 10ET 452 AL-4

MAP 96 PARCEL 10EU 452 AL-4

MAP 96 PARCEL 10EV 452 AL-4

MAP 96 PARCEL 10EW 452 AL-4

MAP 96 PARCEL 10EX 452 AL-4

MAP 96 PARCEL 10EY 452 AL-4

MAP 96 PARCEL 10EZ 452 AL-4

MAP 96 PARCEL 10FA 452 AL-4

MAP 96 PARCEL 10FB 452 AL-4

MAP 96 PARCEL 10FC 452 AL-4

MAP 96 PARCEL 10FD 452 AL-4

MAP 96 PARCEL 10FE 452 AL-4

MAP 96 PARCEL 10FF 452 AL-4

MAP 96 PARCEL 10FG 452 AL-4

**LANGLAIS
GROUP INC.**

11 Sea Pave Road
South Windsor, CT 06074
860-646-2372

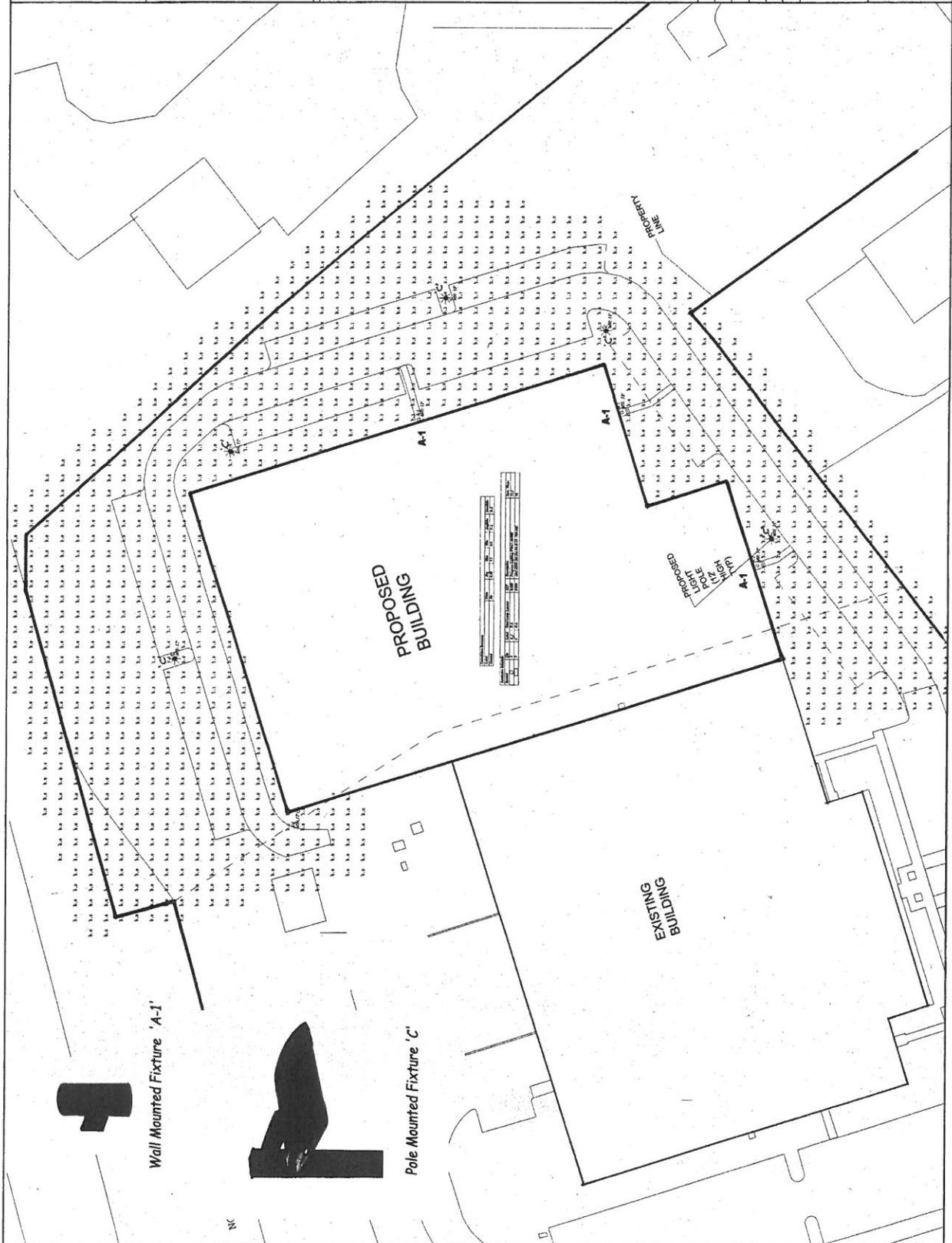
Disclaimer:
1. This drawing and all drawings incorporated herein shall be the property of Langlais Group Inc.
2. This drawing is based on information furnished to Langlais Group Inc. and the responsibility of the client.
3. All dimensions and boundaries to be determined by others.

Arc Technologies

DATE: 12.18.2015

SCALE: Not To Scale

P100



Amesbury Planning Board

TO:

Daniel Healey

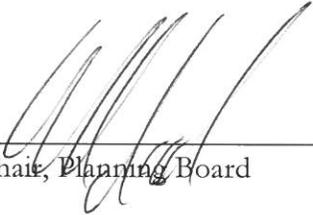
ARC Technologies, LLC

37 South Hunt Road

Amesbury, MA 01913

PLANNING BOARD VOTE:

On 1/11/2016, the Amesbury Planning Board voted in favor of the approval of the Site Plan, as amended, for the proposed Industrial Building Expansion for ARC Technologies, LLC at 29 & 37 South Hunt Road in Amesbury MA subject to the findings, waivers and conditions noted in this Decision.



Chair, Planning Board

Filed with the City Clerk on

March 9, 2016



City Clerk

Compliance with Conditions Set Forth by the Amesbury Planning Board Decision prior to Issuance of a Building Permit

SIGN-OFF FORM (PB200601-BUILDING)

(IMPORTANT: IT IS THE RESPONSIBILITY OF THE PERSON SEEKING BUILDING PERMIT TO GET THE SIGN OFF FROM EACH OF THE DEPARTMENTS LISTED BELOW. THE TOWN WILL NOT BE HELD RESPONSIBLE FOR LACK OF ACTION ON THE APPLICANT'S BEHALF. BEFORE SIGNOFF, COPIES OF THE RECORDED DECISION AND THE APPROVED PLAN SET SHOULD BE SUBMITTED TO THE PLANNING OFFICE.)

By signing below, the following Town Department/Town Officials, agree that the conditions of this permit prior to making application for building permit have been completed and recommend that an application for a building permit for the units indicated below may be granted:

Engineering Department/Town Engineer _____

Department of Public Works/DPW Director _____

Planning Office/City Planner _____

Conservation Commission/Agent _____

Police Department _____

Fire Department _____

Compliance with Conditions of the Amesbury Planning Board Decision prior to Issue of Certificate of Occupancy

SIGN-OFF FORM (PB200602-OCCUPANCY)

(IMPORTANT: IT IS THE RESPONSIBILITY OF THE PERSON SEEKING CERTIFICATE OF OCCUPANCY TO GET THE SIGN OFF FROM EACH OF THESE DEPARTMENTS. THE TOWN WILL NOT BE HELD RESPONSIBLE FOR LACK OF ACTION ON THAT PERSON'S BEHALF)

The following Town Department/Town Officials, by signing below, agree that the conditions of this permit from the start of construction to prior to issue of occupancy permit have been completed and recommend that the Certificate of Occupancy be granted for the units indicated on this form.

Engineering Department/Town Engineer _____

Department of Public Works/DPW Director _____

Planning Office/City Planner _____

Conservation Commission/Agent _____

Police Department _____

Fire Department _____