

08-25-2014



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AMESBURY CITY CLERK

## PLANNING BOARD DECISION

*Property Ownership:* **Roland Coulliard, DECM, LLC, 2 Lawrence St., Seabrook, NH 03874**

*Applicant:* **Roland Coulliard, DECM, LLC, 2 Lawrence Street, Seabrook, NH 03874 - Locke Hill Lane**

*Application Type:* **a) DEFINITIVE SUBDIVISION; and  
b) SITE PLAN APPROVAL**

*Project:* **Definitive Subdivision and Site Plan Approval for property located at 56-58 South Hampton Road, Amesbury, MA**

*Date:* **August 25, 2014**

### **A. BACKGROUND**

On or about 04-14-2014, the Planning Board of Amesbury ("Board") received an application for Definitive Subdivision as defined under Chapter 41, Section 81-O and T.

The Board also received Site Plan dated 04-11-2014 under Section XI.C as per requirements under Zoning Regulations of the City of Amesbury for a fifteen (15) lot subdivision consisting of thirteen new single family lots, on an approximately 28.5 acre parcel located at 56-58 South Hampton Road in Amesbury MA. The plans were drawn on August by Christianson and Sergi,

Inc., 160 Summer Street, Haverhill, MA 01830 last revised on 8-5-14 and submitted by Phil Christianson, P.E., on behalf of Roland Coulliard, DECM, LLC, 2 Lawrence Street, Seabrook, NH 03874 (the "Applicant"). The set of plans include eleven (11) sheets.

The Board also received supplemental plans and documents pertaining to stormwater and drainage, erosion control, water and sewer, house plans, elevations and landscaping plans for review. The following are attached as exhibits or referenced herewith:

- Exhibit 1 - Approved Subdivision and Site Plans (including Landscape Plans) and
- Exhibit 2 - Notice of Intent Application and accompanying Plans.

The Board held the initial public hearing on 05-12-14 and for the Definitive Subdivision Plan and Site Plan. The public hearings were closed on Aug 25, 2014 and a decision was rendered on the applications.

This is the Decision of the Board ("Decision").

## B. FINDINGS

1. Property Description - The 27.4 acre property ("Property") is shown on Map # 13 Lot # 19 and 20. It is owned by Roland Coulliard, DECM, LLC, 2 Lawrence Street, Seabrook, NH 03874. The Applicant is of Roland Coulliard, DECM, LLC, 2 Lawrence Street, Seabrook, NH 03874. The site is located in the RC district and requires a minimum lot area of 80,000 sf. and 200 feet of frontage for each lot as a conventional subdivision. There is an existing historic single-family residential structure on 58 South Hampton Road and a contemporary ranch house located on 56 South Hampton Road.
2. Project Description - The proposed Cluster Residential development ("Project") consists of fifteen (15) lots as shown on the Subdivision Plan(s) ("Plans"). As shown on the plans, at least 77% of the Property (21.20 acres) shall be deeded as a permanent open space and conservation area as depicted on the Plans. Such open space area shall be donated to the Amesbury Conservation Commission ("Commission") or other such conservation agency or organization as specified by the Board.
3. Utility Impacts - All utilities and infrastructure proposed within the Plans are proposed to be owned and maintained by the public. As described under the Memorandum of Agreement (MOU) between the Applicant and the City, the Project proposes to contribute a minimum of Twenty Thousand dollars (\$20,000) towards off-site stormwater improvements as required by Public Work's Department (DPW) in the vicinity of the Project Site and around Market Street. The proposed improvements, including off-site drainage improvements, and infrastructure layout are adequate mitigation for the waivers to the subdivision and wetland regulations. Moreover, they are adequate for serving the proposed lots and are not a burden on the City's infrastructure if installed properly and in accordance with the revised subdivision plans.
4. Traffic Impacts - The proposed layout of *Lock Hill Lane* does not create undue traffic congestion or impact pedestrian safety on South Hampton Road. The design of the

roadway allows for access to emergency and fire response vehicles for public safety purposes.

5. Limit-of-Work - The limit of work is located outside of the most sensitive environmental resources on the Property and the Project requires minimal work within the jurisdictional areas. The Applicant has also requested waivers from front yard setbacks, lot area, buffer areas, and the frontage requirements to further protect primary and secondary resource areas and maintain the existing tree lines along the perimeter of the Property.
6. Yield Plan - A Yield Plan was not required to be submitted with the application but the project narrative showing a fifteen (15) lot conventional sub-division was included in the Project Narrative in the application. Using the provisions of §XI.D, a Rural Cluster Subdivision Plan was developed that preserves more than 70% open space on the Property. The Board finds that the Rural Cluster Subdivision Plan is superior to the Conventional Subdivision Plan because it reduces the amount of impervious area, preserves most of the open meadow, protects the environmental resources areas and allows for the protection of wetlands on the site. The Rural Cluster Subdivision Plan also promotes a more efficient use of land.
7. Site and Building Design – Although the project has a smaller average lot size (15,000 SF+/-) than a conventional subdivision, the proposed lot and roadway layout, landscaping, buffer areas, and house size and design is appropriate for the site and is consistent with the surrounding neighborhood. Thus, the Board supports the project density shown under the cluster design provided the proposed lots and houses are consistent with the lot layout, Design Standards, landscaping, and lighting as approved by the Board per this Decision.
8. Stormwater Management: The proposed Project has been reviewed by the Board's consultant to ensure that there are no adverse impacts on abutting properties due to stormwater runoff or soil disturbance and erosion from construction activities. The Board finds that the best management practices proposed for collecting stormwater are

adequate provided the stormwater management plan is implemented as approved by the Board. It also finds that the wetlands crossing should be constructed in accordance with the Order of Conditions as issued by the Amesbury Conservation Commission to ensure that there is no adverse impact to the environmental resources and that there is adequate monitoring of the installation of the stormwater management systems.

**C. WAIVERS**

By application as submitted, the Applicant provided the Board with a list of waivers sought from the provisions of Amesbury’s Subdivision Rules and Regulations and the Zoning Bylaw (see list below in Table 1). The Board has endeavored to grant waivers from those rules and regulations, only to the extent necessary, where the waivers are consistent with the purpose and intent of the regulations and would not threaten public health, safety or welfare and to minimize harm and disruption to the locus and real property abutting the locus. The following waivers, as listed on the subdivision plans, are granted to the extent necessary to construct the approved plan as submitted and revised:

**TABLE 1:**

Section(s) of Subdivision Rules and Regulations	Requested Waiver	Decision of the Board
6.02.1- this regulation requires a certification on the plan stating that the classification and precision of all surveying conforms to the most recent MALSCE standards.	There are no applicable MALSCE standards so the certification is not included.	Granted to the extent necessary to construct the plan as approved.
6.02.12 - this regulation requires that all trees greater than 12" in diameter be shown on the plan.	Individual trees were not located and are not shown on the plan.	Granted to the extent necessary provided no trees outside the limit or work are removed or destroyed during construction.
7.03.4 – Detention areas on separate lots	The proposed drainage system is partially located upon the	Granted to the extent necessary to support a LID drainage system.

	individual lots.	
7.09.e - 24 feet is required.	The width of the pavement in the proposed road is 22 feet.	Granted to the extent necessary to construct the plan as approved.
7.09.f - 50 feet is required.	The width of the right-of-way for the proposed road is 40 feet.	Granted to the extent necessary to construct the plan as approved.
7.09.i - the required spacing is 30-foot intervals.	Street trees are proposed at approximately 40-foot intervals along the road.	Granted to the extent necessary provided detailed landscaping plans for individual lots are submitted for Board's approval and the ROW tree planting plan is implemented as approved.
Section 7.13 requires street lights	To allow yard lamps in lieu of street lights	Granted to the extent necessary to construct the plan as approved.
Section 8.05 requires sidewalks	To provide a shoulder of gravel or stone dust for pedestrian circulation. A concrete sidewalk will be provided on the proposed wetland crossing portion of the roadway. Additionally, a pedestrian boardwalk and trail system will be provided as shown on the trail access plan.	Granted to the extent necessary provided the boardwalks over the wetlands providing access along nature trails in the open space Parcels are constructed as approved. Other six (6) feet wide nature trails will also be constructed connecting the crossing to the cul-de-sac as shown on final plan.
XI.D.6.a.8- wherever feasible, the minimum width of open land between the limit of work of the cluster development and adjacent property shall be 50 feet.	The width of the open space behind lots is 20 feet,	Granted to the extent necessary to construct the plan as approved.
XI.D.6.a.2- a minimum frontage of 100 feet is required for cluster lots, though the planning board may reduce this requirement up to 50%.	Lots have between 50 and 100 feet of frontage. The existing abutting lot will retain the 125 feet of frontage on the proposed public way that the Planning Board approved under the previous subdivision.	Granted provided the siting of the proposed structure on the lot is in substantial compliance with the approved site plan and formal access from the proposed improved public way to the existing lot is shown on the plans and constructed by the applicant.

<p>Section XI.D.6.A.9. - the required front yard setback may be waived from 25' to 15' to protect or enhance the primary and secondary resource areas.</p>	<p>To reduce the front yard setback for some lots shown on the plan in order to protect the adjacent wetland resource areas, minimize the amount of impervious area and maximize the amount of open space provided. The proposed front yard setback shall be at least 15 feet for all lots.</p>	<p>Granted to the extent necessary to construct the plan as approved and provided the house designs are prepared in accordance with the approved Design Standards attached with this decision.</p>
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#### **D. GRANT OF PERMIT AND CONDITIONS THERETO**

With the findings as noted in Section B, the waivers granted in Section C and with the conditions of approval as noted in this Decision, the Board finds that the project satisfies the criteria of Amesbury Subdivision Rules and Regulations and the Amesbury Zoning Bylaws.

After public hearing, upon notice in accordance with the statute (General Laws, Chapter 40A, section 11) and the Amesbury Zoning Bylaw, and after full consideration of the evidence presented, and upon the findings made by the Board and hereinafter set forth, a Cluster Residential Special Permit and Definitive Subdivision Plan Approval for a 15 lot subdivision at Lock Hill Lane in Amesbury, MA is granted to the Applicant for the premises described in the application, further upon the special conditions that follow:

#### **I. COMPLIANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS:**

The Subdivision, and all construction, dwelling units, utilities, roads, drainage, earth removal and all related appurtenances with respect to the Subdivision, shall comply with all applicable local, state and federal regulations except as waived specifically by this Decision. The Applicant shall be responsible for acquiring all other local, state and federal permits and approvals as necessary to construct the subdivision as approved by the Board. Final action on all other permits shall be submitted to the Board for record. The Board notes that the following are some of the permits that may be needed for this subdivision prior to start of any construction activity:

1. Compliance with the Massachusetts Wetlands Protection Act and related regulations, G. L. c. 131, § 40-40A, and the Amesbury Wetlands Bylaw and Regulations;
2. Compliance with DEP Stormwater Regulations, as needed;
3. NPDES permit from Environmental Protection Agency, and
4. Final written execution of the MOU.

## VII. GENERAL AND IN PERPETUITY CONDITONS

1. Completion of Construction – *Lock Hill Lane* and all associated improvements shall be completed within three years of recording of the Board's decision. By the Board's written approval, this may be extended by no more than a period of one (1) year beyond the three year period;
2. Ways and Easements - The Applicant shall retain all title to the ways and easements in the Project as per Section 6.10 until conveyed to and accepted by the City of Amesbury. *Lock Hill Lane* and shall remain a private way and all associated utility infrastructure shall be maintained by the Applicant or the Homeowners' Association until a formal request for street acceptance is received by the City;
3. Waivers - Except as waived specifically in the Decision, the development of this Project, including the construction of all dwelling units, utilities, roads, drainage structures and other appurtenances, shall comply with the Amesbury Subdivision Rules and Regulations and Zoning By-Law in effect at the time of this Decision. In the event that further waivers are required, the Applicant shall submit a written request for such waiver(s) to the Board and the Board may grant or deny such additional waivers in accordance with applicable rules and regulations in effect at that time.
4. Open Space Parcels - All open space parcels identified on the Final Plans for permanent protection shall have a permanent conservation restriction in perpetuity. These areas are

to be left in their natural and existing, vegetative state with no provisions for site future alteration, including but not limited to a prohibition on tree removal, land clearing and site grading of these areas except for forestry management purposes, constructing or maintaining pedestrian access trails and bridges, stormwater management maintenance and for permitted agricultural or passive recreational uses. Surety being held for the construction of the roadway, installation of the utilities or the approved open space improvements for the Project shall be released by the Board once a permanent conservation restriction has been reviewed and approved by the Board and such restriction has been recorded at the Registry of Deeds. All open space parcels shall be maintained by the Applicant until such time as all the proposed improvements are complete, all the lots have been built upon and the proposed Way and associated stormwater management systems have been accepted by the City. A split rail fence shall also be installed along the propose pedestrian access ways from the roadway into the open space parcel;

5. Conservation Restriction and Conveyance of Permanent Open Space –The Applicant shall convey to the City, or another entity as determined by the Board, the common open space shown on the plan (21.2 acres +/-). The Applicant shall submit a petition to the City to accept open space parcels no later than December 31, 2016. All improvements (boardwalks, trail signs and other improvements) previously approved by the Planning Board or Conservation Commission and shown on the approved plans, shall be completed prior to December 31, 2016;
  
6. Changes in Project Density or Design - No further subdivision of the property or creation of any new dwelling units shall be allowed without further review and approval by the Board; Any change to the subdivision plans or any of these conditions of approval, including, but not limited to, the building footprint and driveway locations, landscaping plans, Design Standards and the approved building construction materials, site improvements and finished grades or to any recorded legal documents shall only be allowed after review and approval by the Board; Substantive revisions to the Final Plans, such as relocation (except relocation within the building “envelopes” as proposed) or

additions of dwellings or lots (except as specified in this Decision), relocation of more than one property line, relocation of the right of way or other substantive changes from the Final Plans shall not be permitted without further review and written approval of the Board;

7. Wetland Permitting – In order to effectively coordinate and integrate the required observation and inspection reports for this project, the Board recognizes that the Plan(s) shown under the Notice of Intent Application (as revised) and the Order of Conditions, issued by the Amesbury Conservation Commission, shall also be carried out to the satisfaction of the Commission or its agents. Except as waived by this Decision or a decision of the Commission, the construction of this subdivision shall comply with the Amesbury Wetlands Bylaw and Amesbury Conservation Commission Regulations in effect at the time any building permit is sought for a dwelling unit or for any jurisdiction for roadway-associated construction, and with all rules, regulations and permit requirements and certifications of the Commission with respect to natural resource protection, construction of storm water management structures within the Buffer Zone and their disposal, construction of other structures including retaining walls within the Buffer Zone, and wastewater disposal. Any request for alteration to the Order of Conditions made by the Applicant to the Commission (or to Department of Environmental Protection, upon appeal) shall be simultaneously provided to the Board. The proposed work shall comply with the “Order of Conditions” issued by the Commission upon the said premises. The Order of Conditions from the Commission shall be carried out to the satisfaction of the Commission. Any violation of the Order of Conditions issued by the Commission shall be deemed to be a violation of this subdivision approval, with all remedies to the City of Amesbury as provided by law;
  
8. Inspections - The Planning Board shall require the inspection of utility layout and construction, roadway construction, drainage and stormwater management system to ensure that the work is carried out in accordance with the Final Plans and to ensure that all improvements are in compliance with the conditions stated in this Decision. The inspections shall cover activities outlined in Form O and any other specific engineering

activity outlined in this Decision. The Planning office will coordinate closely with DPW to establish inspection requirements prior to start of construction. The Board shall require the establishment of a construction observation account and prior to the start of construction, the Applicant shall provide the funds necessary for inspection by the Board's consultant. To the extent feasible, the Board will coordinate with the Conservation Commission to retain the same consultant. The Applicant shall be responsible for coordinating site inspections with the Board's consultant as required under the Subdivision Rules and Regulations (Section 6.11);

9. As-Built Plans and Repairs - To ensure compliance with the terms and conditions of this Decision and any approval or order by any federal, state-agency, the Applicant shall submit plans as required under Section 6.12 of the Subdivision Rules and Regulations with a certification from a Professional Engineer or Architect registered in the Commonwealth of Massachusetts that the Project "As-Built Plan" complies in all substantive respects with this Decision and any other approval or order by any federal, state or local agency. Any damage to public roads and walkways shall be repaired and/or replaced to the satisfaction of the DPW Director and City Engineer;
  
10. Final Release of the Performance Bond - Not less than ten percent (10%) of the original performance bond shall be retained until the Board approves the As-built and Roadway acceptance plans as required by the City for accepting *Locke Hill Lane* as a public way. Final release of performance bonds shall be made when all the following conditions have been met: a) Upon completion of work as shown on the Final Plans, the Applicant shall furnish a report from the Board's construction observation consultant indicating that all work has been completed as per the Board's Decision and as shown on the Final Plans; b) A recorded copy of the Certificate of Compliance (CoC) from the Commission shall be provided to the Board along with a final As-Built plan; c) there are no other outstanding concerns from any City Department or from the Board; d) the Applicant submits a copy of the recorded deed transferring the fee or easement(s) in the right of way, open space or other lots to the City of Amesbury; and e) upon completion of all off-site improvements and construction within the right of way, the Applicant shall submit an

"As-Built Plan" to the Board along with a written confirmation from a Registered Professional Engineer, indicating that construction complies with the approved site plans and conditions of approval, including drainage and utility plans;

11. Final Release of the Erosion Control Surety - The Surety shall be released upon completion of the work in accordance with the Section 6.09.E of the Subdivision Rules and Regulations. Prior to release of any Surety, the Board shall verify with its construction observation Consultant and the Commission that the soils and slopes have stabilized and that there is evidence of healthy mature grass and/or landscaping on the site;
12. Notation on Deeds for specific Lots: Reference to drainage and access easements and other restrictions required by the Conservation Commission approval shall be made on the deeds for all lots shown on the plan with such easements. The Stormwater O & M Plan and the Order of Conditions associated with each lot shall be referenced in the deeds for all such lots. Draft deeds for these shall be provided to the Board for review prior to release of these lots by the Board for construction;
13. Signage – Signage details identifying the subdivision shall be provided prior to its installation on site. Such signage shall be subject to review and approval of the Board as per the local zoning provisions in existence at that time;
14. Design Standards – The Design Standards (see Exhibit 2) shall be used to guide the final design of the proposed structures and the house layout on each lot. Prior to release of any lot for construction, the City Planner will review the final building elevations and site design improvements for compliance with the Design Standards. Written approval from the City Planner will be provided where the proposed elevations or site improvements are in substantial compliance with the Design Standards. In instances where the City Planner cannot determine substantial compliance, the Planning Board shall make such determination prior to the release of any lot and the commencement of construction.

## II. PRIOR TO ENDORSEMENT OF PLANS

The approved plans shall become Final Plans upon recording of the endorsed plans. The following conditions shall be met prior to endorsement of the approved plans:

1. Plan Revisions: The following revisions shall be made to the Subdivision Plans:
  - a) The final plans shall be revised to incorporate all changes to the wetland crossing and RoW design as approved by the ACC or pursuant to final Order of Conditions;
  - b) The notes on the Erosion Control Plan shall be consistent with the SWPPP;
  - c) Notes shall be added to the detail sheets referencing the height, material and locations of the proposed retaining walls. All walls shall be no higher than 4 feet and shall be constructed with natural fieldstone;
  - d) There shall be general note on sheet 1: *"All site improvements shall conform to design and construction standards under Section 7 and Section 8 of the Amesbury subdivision rules and regulations, unless waived by the Planning Board per subdivision approval"*;
  - e) A note on sheet 2 shall be added as follows: *"Drainage easements on individual Lots shall be reserved by the developer prior to sale of any lots. Drainage easements areas shall not be obstructed, filled, landscaped, re-graded after final grading, paved, or used for installation of temporary or permanent structures. These easement areas shall be maintained by the developer or their successors for the proper functioning of the drainage system as per drainage easement- use and maintenance plan to be recorded herewith"*;
  - f) Section 7.09.I of the subdivision rules and regulations requires steep slopes be covered with shrubs and grass. Upon receipt of the final grading plan behind lots 8 & 9, the City Planner shall determine compliance with the subdivision rules and regulations and whether evergreen trees need to be planted at the base of the slope (4-5 feet in height at the time of planting) 5 -10 feet apart or greater if alternative landscaping is proposed at the base of the slope;
2. Easements and Covenants - A copy of legal documents and plans describing all covenants, and easements affecting the use of the subject property shall be submitted to

the Board for review and approval, said easements to be shown on the Plan to be recorded, and restrictions to be noted on such subdivision plan. The Applicant also shall submit to the Board any written or recorded instruments granting or agreeing to such easements and covenants. Deeds describing Parcels to be donated to the City shall also be submitted for review and approval.

3. Conservation Restrictions – If applicable, a recordable Conservation Restriction shall be prepared for the designated Open Space parcels and the pertinent easements shall be clearly identified on the approved plans. Except where noted on the plans and in this decision, these areas are to be left in its natural vegetative state with no provisions for site alteration, including but not limited to a prohibition on tree removal, land clearing and site grading of these areas except for forestry management purposes, approved pedestrian access, stormwater management maintenance or for approved agricultural or passive recreational uses. Documentation for management and maintenance of such areas shall be submitted to the Board for review and approval. Any subsequent alterations to the size or use of this area shall require review and approval by the Board;
  
4. Stormwater Operations and Maintenance Plan - A final Stormwater Operations and Maintenance Plan ("O & M Plan") shall be submitted for review and approval by the Board. The last revised O & M Plan shall be updated to include all relevant supplementary information and coordinated with notes from the approved plans. The O & M Plan shall include, at a minimum, maintenance during and post construction as well as perpetual maintenance and monitoring of the roadway, roadway infrastructure and drainage systems (routine and seasonal). The O & M Plan shall include specific tasks and time lines associated with inspection and maintenance of all proposed stormwater management structural and non-structural measures, a repair and replacement plan for the system with estimated costs as well as identify the owner and party responsible for inspection, operation, maintenance, repair, and replacement including certification of acceptance of legal responsibility for the afore mentioned. Other than the easement areas accepted by the City, along with the acceptance of the proposed RoW, the stormwater drainage system and all components of the stormwater system located on individual lots

shall be privately maintained by the homeowner(s). The infiltration systems are a part of the Stormwater Management Plan. The O& M Plan as approved by the Board shall be recorded as a legally binding document on all the future property owners. The O & M Plan shall be submitted to the Board along with a certificate from the Applicant acknowledging the responsibilities outlined in the O & M Plan to be carried out by the Applicant or his/her successors and assignees;

5. Covenant(s) - A covenant, in a form acceptable to the Board, shall be recorded on the development as outlined in Section 6.09.B of the Subdivision Rules and Regulations stipulating that no lot shown on the plan shall be released for construction until a Performance Guarantee and, concurrent with the activities included in the Order of Conditions issued by the Commission, the Erosion Control and Sedimentation Bond have been established with the Board. However, for the health, safety and welfare of the future inhabitants of subdivision, the Board shall not release any other lots until such time that there is adequate and safe access for vehicles, including emergency vehicles, to the Property and provided that there are no other issues concerning the public health, safety and welfare. This covenant is to be received by the Board prior to the commencement of any of the improvements approved and shown on the Plan and will remain in place until the Applicant posts a Performance Guarantee, which will be reviewed and approved by the Board, in order to complete all of the improvements as per Final Plans. The form of the Performance Guarantee, adequacy and or amount shall be reviewed and approved by the Board;
6. Notations - The following notes shall be added to the Plans that will be endorsed and recorded:
  - a. A note shall be added to reference the Board's Decision and date of approval;
  - b. A note shall be placed on each pertinent sheet of the plans stating that the subdivision has received approval from the Board and that the roadway within the subdivision conforms to the standards and requirements of the Amesbury Subdivision Rules and Regulations except as waived by this Decision;

- c. A note shall be added that states that "*No further subdivision of any parcel or any changes to the number of residential lots, the area of the proposed Open Space, the lot configuration, or the lot lines shall occur without a further review and approval from the Board*" and a notation to this effect shall also appear upon any deeds to any property within the subdivision; and
  - d. The proposed development is subject to an Order of Conditions and has a DEP File Number 002-1095.
7. Recorded Copy - A copy of this Decision as recorded at the Essex Registry of Deeds shall be submitted to the Board;
  8. CAD Drawings - Three copies of all drawings and site plans as approved by Board shall be provided as Computer Assisted Drawings (CAD) on Compact Disks to the Board;
  9. GIS Mapping - Compliance, to the greatest extent possible, with Municipal Mapping Requirements as per attached requirements (see Exhibit A) should be submitted to the Planning Office and approved by the Engineering Department;
  10. Conditions of Approval – A reference to these conditions of approval shall be noted on the Plans approved by the Board;
  11. Detailed Architectural Elevations - In accordance with the Design Standards established herewith and attached as Exhibit 2, the final set of detailed architectural elevations shall be provided for atleast three different house styles prior to endorsement for review and approval by the City Planner for consistency with these Design Standards and the requirements of this Decision. The architectural elevations for all other lots shall be prepared and submitted in accordance with this Decision. No lot shall be released for construction until the architectural elevations and the site layout has been approved by the City Planner. Written approval from the City Planner will be provided where the proposed elevations or site improvements are in substantial compliance with the Design Standards. In instances where the City Planner cannot determine substantial compliance,

the Planning Board shall make such determination prior to the release of any lot and the commencement of construction.

12. Plan Revisions – In accordance with the Planning Board’s peer review consultant’s most recent letter, the Applicant shall incorporate the recommendations of the consultant into the final plan set.
13. Street Names – The applicant is encouraged to identify a historically significant street name for the project; and
14. Street Numbering – If possible, the Applicant shall coordinate with the Assessor’s and Inspection Departments to identify the street addresses for each lot and re-label the lots to be consistent with such numbering.

### III. PRIOR TO START OF CONSTRUCTION

No later than the date on which the first request is filed for a release from the covenant of a lot with its legal frontage on *Locke Hill Lane*, and before any Lot Release, the Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. Supporting Documentation - Documentation and proof of recording of all legal documents, including but not limited to, the following: Conservation Restrictions, covenants, Open Space Use and Management Plan, and access and drainage easements. Said restricted areas to be shown on the Recorded Plan and restrictions shall be noted on such subdivision plan. The Applicant should have executed and caused to be recorded at the Essex South District Registry of Deeds the above referenced legal documents;

2. Recorded Plans - A copy of the set of endorsed plans, signed by the City Clerk and recorded at the Essex Registry of Deeds shall be submitted to the Board, DPW and the Building Inspector;
3. Sedimentation and Erosion Control Surety - The Applicant shall be required to post Surety with the Board for Sedimentation and Erosion Control in accordance with the provisions of Section 6.05 of the Subdivision Rules and Regulations and to ensure that all drainage and erosion control measures are carried out on site, including both the proposed roadway, drainage system, open space improvements and grading upon the individual lots, as per the Final Plans and other engineering drawings.
4. MOU Agreement: A fully executed MOU agreement for off-site drainage and stormwater improvements for work as agreed upon with DPW and in the amount as agreed upon with the Planning Board shall be provided to the Board prior to commencement of construction of the Right of Way.
5. Municipal Services -The Applicant shall meet with both the Engineering Department and Department of Public Works (DPW) to finalize all details associated with connections to existing municipal utilities. Service stub locations and connection locations should be coordinated with, and approved by, the City Engineer. The Applicant shall confirm with the City Engineer and DPW Director that adequate municipal service (i.e. sewer capacity, water pressure/flow) is continuously available for the project; and
6. Pre-Construction Conference - At least forty-eight (48) hours prior to any initial site work, a Pre-Construction conference shall be held with the Applicant, Applicant's contractor, a representative of the Board, its consulting engineer, and representatives of the City Departments having an interest in the Plan. Said meeting shall be for the purpose of familiarization with the project, the conditions of approval, and the project's construction sequence and timetable.

#### IV. PRIOR TO MAKING REQUEST FOR LOT RELEASE

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. Performance Guarantee – Before a building permit is issued for any lot, the Board will require provisions for the construction of ways and the installation of municipal services in accordance with the approved plans. Such construction and installation to be secured by a security deposit or Performance Bond as provided in MGL c. 41, § 81U. The amount of the security shall include an adjustment for inflation to the year of anticipated completion plus a construction cost contingency of twenty-five percent (25%). The instrument of security shall be held solely in the name of the City. In the instance that the instrument of security accepted by the Board is other than cash, the financial stability and creditworthiness of the issuer shall: A) be subject to approval by the Planning Board; and B) where cash is not used, a base multiplier of not less than 2 shall be required. Except as otherwise allowed under this decision, security must be submitted to and approved by the Planning Board, prior to the issuance of any Building Permits.
  
2. Adequate Access – Prior to making request for Lot Release for any of the lots shown on the approved subdivision plan, the gravel base for the roadway shall be prepared as per approved plans and the binder course shall be in place. The Applicant shall submit an interim As-Built plan showing that the site has been stabilized and roadway construction (to the binder course) has been completed to ensure emergency access for public safety. All stormwater management systems located outside of the RoW shall be substantially complete. The Board's consultant shall issue a letter approving the construction and the interim As-Built plan;
  
3. Individual Site Plans and Architectural Elevations - Consistent with the approved landscape plans, house designs and architectural elevations submitted with this application, the plan for all lots showing the proposed landscaping, lighting, house design, garage and driveway layout and architectural elevations. Such site plans shall be

consistent with the conditions of this approval, all submitted plans and the Design Standards listed in Section D.VII.13 of this decision. If the elevations and site improvements submitted to the Planner are not or cannot be determined to be in compliance with this condition, the Planner shall request review and approval by the Board prior to release of such Lot;

4. Drainage - All bio-retention basins, swales and sediment forebays, constructed wetlands and other site drainage systems shall be substantially completed (and confirmed as such by submission of an as-built plan and report from a Registered Professional Engineer);
5. Building Permit Form - The Applicant or their successors shall provide the Building Inspector with the form attached with this decision completed and signed off by each of the City officials listed on that form (PB200601-BUILDING); and
6. Foundations – Subject to approval from the Building Department and the approval of detailed architectural elevations for proposed structures on these lots, the Board may permit up to six (6) foundations to be installed concurrently as Foundation Permits only for such lots.

#### V. DURING CONSTRUCTION

The following shall apply to all lots within the subdivision:

1. Stockpiles - All earth stockpiles shall be established in locations greater than fifty (50') feet from the wetlands as approved by the Board or its designee. Earth material stockpiles shall not be allowed immediately adjacent to perimeter siltation barriers or drain inlets. Long term stockpiles over 30 days shall be shaped stabilized and circled by siltation fence and haybales and shall be stabilized by temporary seeding, sheeting or netting;
2. Right to Enter and Inspect Property: The Applicant shall as a condition of approval grant to the Planning Board, any representative of the Board, city officials responsible to

inspect and review the construction activity, the right to enter the property until such time as the subdivision is construction is complete as per approved plans;

3. Utility Trenches - Utility trenches within the public Right of Way shall be saw-cut prior to excavation. Open trenches shall be backfilled with bank gravel and compacted to 95%. Trenches shall be paved with asphalt binder to a minimum depth of three (3) inches and overlaid curb to curb on South Hampton Road to a minimum depth of one and half (1.5) inches. Water service trenches shall be infrared joint paved. The Director of DPW and the City Engineer shall have the final signoff on the right of way improvements and any change to these standards or those shown on approved plans shall be subject to their review and approval;
4. Construction Activities - During construction, except within the individual building envelopes, the Applicant and its agents and employees shall conform to all local, state and federal laws regarding noise, vibration, dust and use of public roads and utilities. The Applicant shall at all times use all reasonable means to minimize inconvenience to residents in the general area and maintain safe and adequate vehicular access on South Hampton Road Place. Construction shall not commence on any day Monday through Saturday before 7:00 AM. Construction activities shall cease by 6:00 PM Monday through Friday and by Noon on Saturday. No construction or activity whatsoever (except for interior finishing) shall take place on Sunday; and
5. Police Detail - The Applicant shall, if needed, pay for any police details associated with construction on the site along South Hampton Road;

#### **VI. PRIOR TO MAKING REQUEST FOR AN OCCUPANCY PERMIT**

No later than the date on which the first request for an occupancy permit is filed, and before any occupancy permit is issued for any lots with legal frontage on *Lock Hill Lane*, the Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. Certification of Improvements - The Applicant shall submit a letter to the Building Inspector from the Planning Board verifying that conditions of approval have been met and that construction to date is per the approved plans;
2. Infrastructure Improvements - All off-site infrastructure improvements and the on-site stormwater drainage system shall be completed as per Final Plans. The Applicant shall submit a letter from the Board's construction observation consultant that these improvements have been completed in accordance with the design and construction standards of the Amesbury Subdivision Rules and Regulations and as approved by the Board. The City Engineer and DPW Director shall review the finished construction of all utilities and issue a formal letter stating that all municipal structures located within the public right of way or easement areas are adjusted to appropriate finished grade, and are adequately accessible for future maintenance;
3. Street Trees - All site improvements, including landscaping and street trees shall be completed and installed as per Final Plans prior to the issuance of the last occupancy permit. All proposed trees shall be placed in position or staked out for approval by the Board prior to digging;
4. Landscaping on Individual Lots - The Applicant's Landscape Architect shall confirm that all landscaping activities on individual lots have been carried out as per approved site plans for individual lots. The Applicant shall be required to submit a letter from the Planner that all other improvements have been implemented as per approved plans;
5. Occupancy Form - The Applicant or their successors shall provide the Building Inspector with the form attached with this decision completed and signed off by each of the City officials listed on that form (PB200602-OCCUPANCY).
15. Supporting Documents: The revised Stormwater Management Report and the Stormwater Pollution Prevention and Operation and Maintenance Plan are included by

reference. The applicant shall be responsible for carrying out the requirements as stated in the Plan.

*Ted Semesnyei*  
*Chair, Amesbury Planning Board*



**EXHIBITS**

Exhibit 1 – Revised subdivision plan set last revised Aug 05, 2014

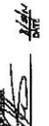
Exhibit 2 – Architectural and Design Standards

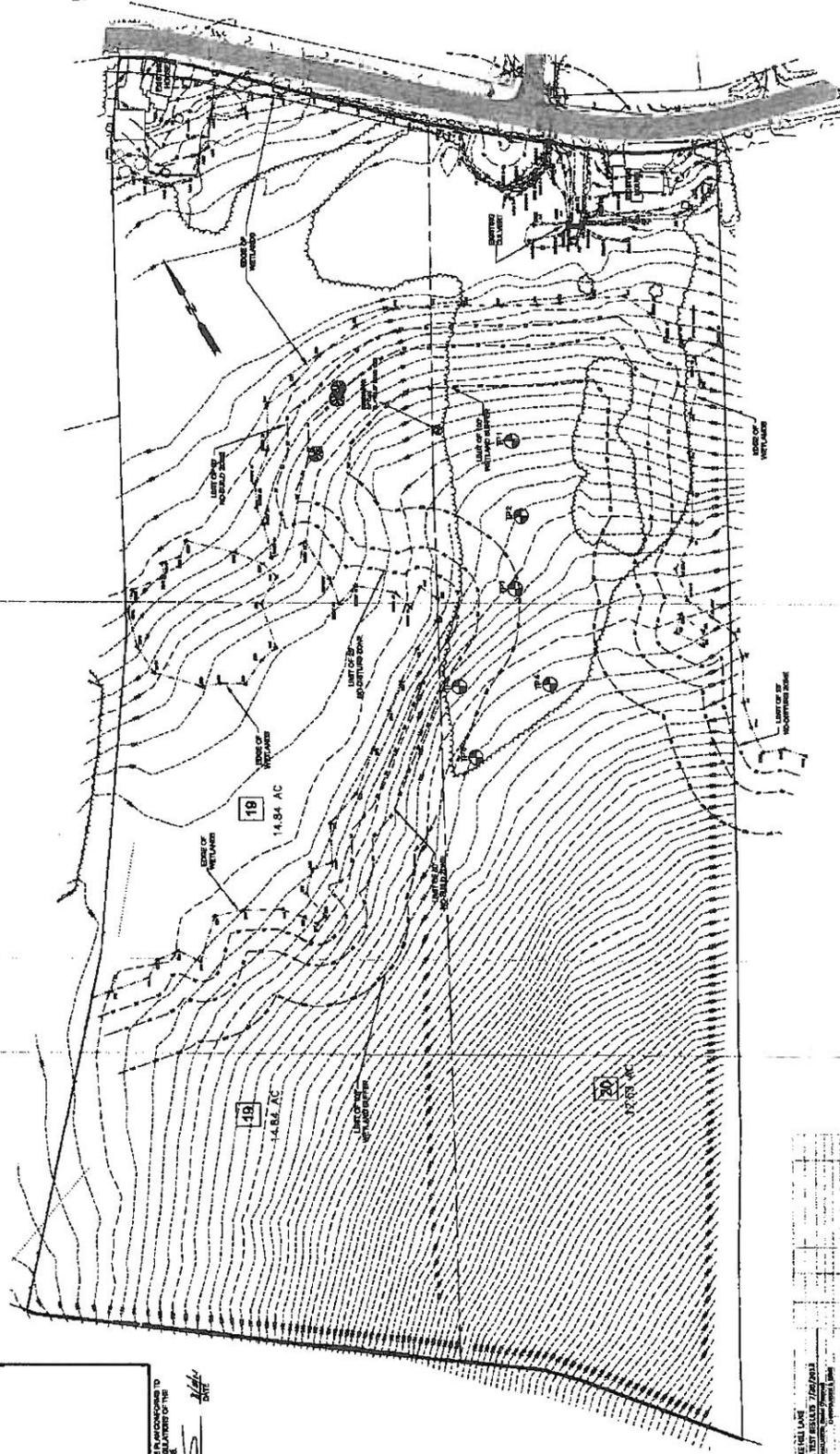






FOR REVIEW ONLY

CONSENT TO BE SHOWN ACCORDING TO THE MASS LAND REGISTRY OF THE  
  
 DATE



NO.	DESCRIPTION	DATE
1	PREPARED BY	
2	APPROVED BY	
3	DATE	
4	SCALE	
5	PROJECT	
6	CLIENT	
7	ADDRESS	
8	CITY	
9	STATE	
10	COUNTY	
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12	LOT	
13	SECTION	
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15	TOWNSHIP	
16	MAP	
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**NOTES:**  
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 2. ACCORDING TO THE DATA PLACED THEREON, THE MAP IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.  
 3. THE SHOWN ELEVATIONS ARE BASED ON THE MEAN SEA LEVEL DATUM OF 1985.  
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**PLAN OF EXISTING CONDITIONS**  
 SCALE: 1" = 40'  
 APPROVED UNDER THE SUBDIVISION CONTROL ACT  
 APPROVED BY: [Signature]  
 DATE: [Date]  
 PLANNING BOARD, TOWN OF AMESBURY

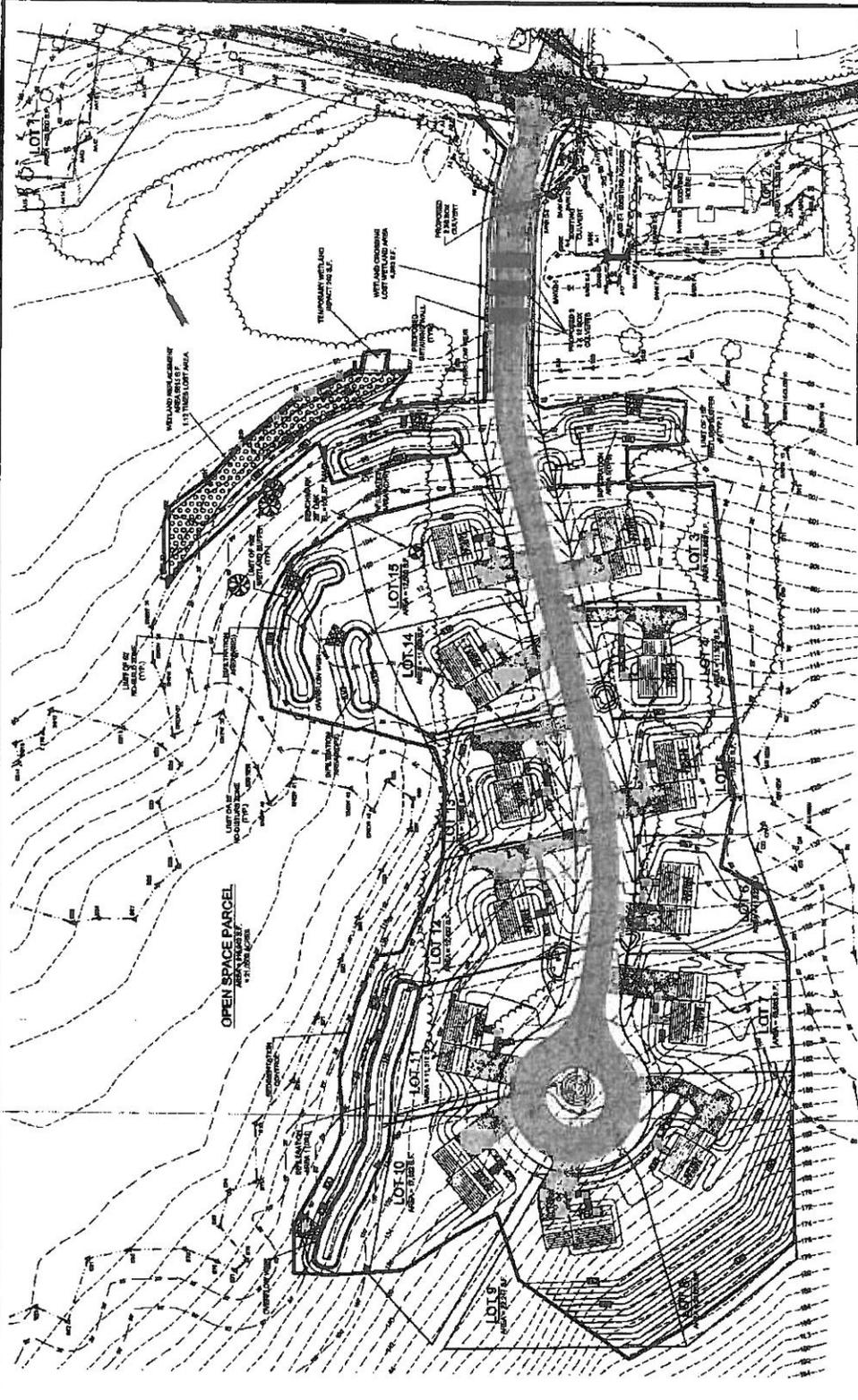
**DEFINITIVE SUBDIVISION PLAN FOR LOCKE HILL LANE**  
 LOCATED IN AMESBURY, MASS.  
 PREPARED BY: CHRISTY & ASSOCIATES, INC.  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 MAP NO. 11-07-21  
 DATE: 08/14/11  
 SCALE: AS SHOWN

**PLAN OF EXISTING CONDITIONS**  
 DATE: 08/14/11  
 SCALE: AS SHOWN

**CSI**  
 CHRISTY & ASSOCIATES, INC.  
 100 HANCOCK STREET, AMESBURY, MASSACHUSETTS 01920  
 PHONE: 978-253-1111  
 FAX: 978-253-1112

FOR OFFICIAL USE ONLY

DESIGNED BY  
DATE



**DEFINITIVE SUBDIVISION PLAN**  
FOR  
**LOCKE HILL LANE**  
LOCATED IN  
**AMESBURY, MASS.**

DATE: 06/01/01  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
APPROVED BY: [Name]  
PROJECT NO.: [Number]  
SHEET NO. OF [Total]  
SCALE: [Scale]

**CSI**  
PROFESSIONAL ENGINEER AND LAND SURVEYOR  
**CHRISTIANSEN & SERGEI, INC.**  
100 MAIN STREET, SUITE 100  
AMESBURY, MASSACHUSETTS 01821  
PHONE: 978-253-1111 FAX: 978-253-1111

APPROVED UNDER THE SUBDIVISION CONTROL ACT, MASSACHUSETTS  
DATE: [Date]  
APPROVED BY: [Signature]

PLANNING BOARD, TOWN OF AMESBURY

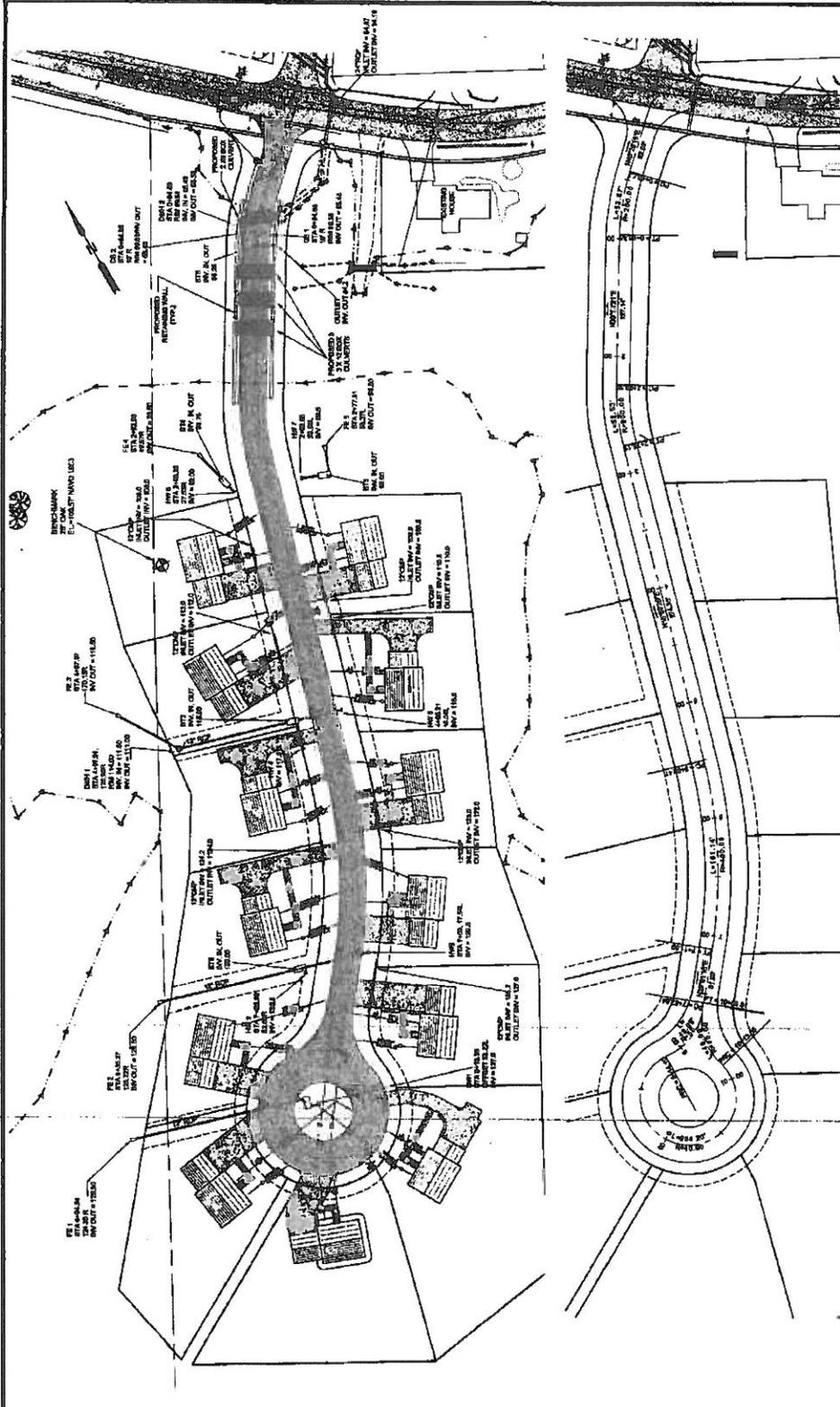
**WETLAND BUFFER ZONE DISTURBANCE**  
WITHIN 25 FT BUFFER ZONE - 0.219 ACRES  
WITHIN 50 FT BUFFER ZONE - 1.164 ACRES  
WITHIN 100 FT BUFFER ZONE - 1.640 ACRES

Scale: 1" = 40'  
LIMIT OF 25' BUFFER ZONE (10%)  
LIMIT OF 50' BUFFER ZONE (10%)  
LIMIT OF 100' BUFFER ZONE (10%)

FOR AMESBURY TOWN ONLY

CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE

*[Signature]*  
DATE: 11/11/11



# UTILITY AND ROADWAY LAYOUT

**DEFINITIVE SUBDIVISION PLAN**  
FOR  
**LOCKE HILL LANE**  
LOCATED IN  
**AMESBURY, MASS.**

APPROVED: [Signature]  
PROFESSIONAL ENGINEER  
REGISTERED IN THE STATE OF MASSACHUSETTS  
DATE: 11/11/11

APPROVED UNDER THE SUBDIVISION CONTROL LAWS IN FULL COMPLIANCE WITH THE SUBDIVISION CONTROL LAWS OF THE STATE OF MASSACHUSETTS  
DATE: 11/11/11

PLANNING BOARD, TOWN OF AMESBURY

PROFESSIONAL ENGINEER  
REGISTERED IN THE STATE OF MASSACHUSETTS  
DATE: 11/11/11

**CSI**  
PROFESSIONAL ENGINEERS & LAND SURVEYORS  
**CHRISTIANSEN & SERGI, INC.**  
100 WASHINGTON STREET, SUITE 200  
AMESBURY, MASSACHUSETTS 01821  
TEL: 978-253-2013 FAX: 978-253-2005  
WWW.CSI-MASS.COM





FOR INFORMATION USE ONLY

LOCKE HILL SUBDIVISION TO BE CONFORMANT WITH THE EROSION CONTROL PLAN

DATE: 08/11/2010  
BY: [Signature]

**Erosion and Sedimentation Control Plan**

The Erosion and Sedimentation Control Plan (ESCP) provides the contractor and the owner with the necessary information to implement and maintain erosion control measures during the construction of the project. The ESCP is intended to be used in conjunction with the approved Erosion Control Plan (ECP) and the approved Construction Erosion Control Plan (CECP).

The ESCP is intended to be used in conjunction with the approved ECP and the approved CECP. The ESCP provides the contractor and the owner with the necessary information to implement and maintain erosion control measures during the construction of the project.

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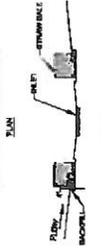
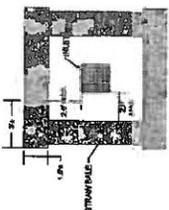
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**CATCH BASIN INLET PROTECTION #1**  
NOT TO SCALE

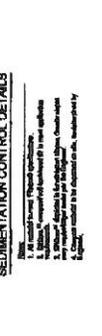
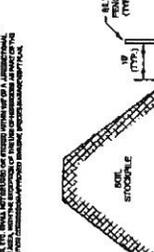
**NOTES:**

1. THE CATCH BASIN SHALL BE CONSTRUCTED TO BE 18" DEEP AND 18" WIDE.
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**TEMPORARY SOIL STOCKPILE**

**NOTES:**

1. ALL SOIL STOCKPILES SHALL BE COVERED WITH A 6" MINIMUM THICKNESS OF EROSION CONTROL MAT.
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**SEDIMENTATION CONTROL DETAILS**

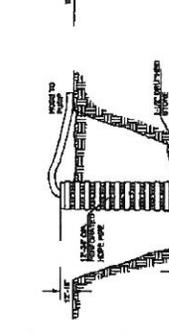
**NOTES:**

1. ALL SEDIMENTATION CONTROL DETAILS SHALL BE CONSTRUCTED TO BE 18" DEEP AND 18" WIDE.
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**CONSTRUCTION ENTRANCE**

**NOTES:**

1. THE CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED TO BE 18" DEEP AND 18" WIDE.
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**DEWATERING SUMP DETAIL**

**NOTES:**

1. ALL DEWATERING SUMPS SHALL BE CONSTRUCTED TO BE 18" DEEP AND 18" WIDE.
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**CATCH BASIN INLET PROTECTION #2**

**NOTES:**

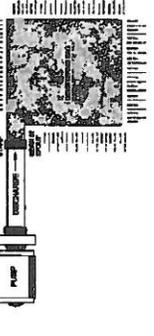
1. THE CATCH BASIN SHALL BE CONSTRUCTED TO BE 18" DEEP AND 18" WIDE.
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**DEWATERING BAG DETAIL**

**NOTES:**

1. ALL DEWATERING BAGS SHALL BE CONSTRUCTED TO BE 18" DEEP AND 18" WIDE.
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**EROSION CONTROL BLANKET DETAIL**

**NOTES:**

1. ALL EROSION CONTROL BLANKETS SHALL BE CONSTRUCTED TO BE 18" DEEP AND 18" WIDE.
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5. ALL EROSION CONTROL BLANKETS SHALL BE CONSTRUCTED TO BE 18" DEEP AND 18" WIDE.

**DEFINITIVE SUBDIVISION PLAN**  
FOR  
**LOCKE HILL LANE**  
LOCATED IN  
**AMESSBURY, MASS.**

APPLICANT: B.A.C. LLC - AMESSBURY STREET - AMESSBURY, MA 01826  
RECORDING OWNER: [Name]  
PROJECT NUMBER: [Number]

**CSI**  
PROFESSIONAL ENGINEERS & SURVEYORS  
100 MARKET STREET, WINTHROP, MASSACHUSETTS 01890  
PHONE: 978.261.1111  
FAX: 978.261.1100

**APPROVED UNDER THE EROSION CONTROL PLAN**

DATE: [Date]  
APPROVED BY: [Signature]

PROFESSIONAL ENGINEER  
[Signature]

PLANNING BOARD, TOWN OF AMESSBURY

FOR AMESBURY, MASS. ONLY

CONTRACT NO. 100-100-100-100

DATE: 10/1/2010

**ROAD CONSTRUCTION SEQUENCE:**

- 1. PREPARE - VERTICAL CURB, CONSTRUCTION SERVICES
- 2. EXCAVATE - EXCAVATE TO 12" BELOW FINISH GRADE
- 3. CONSTRUCT - CONSTRUCT CURB AND GUTTER
- 4. FINISH - FINISH CURB AND GUTTER
- 5. BACKFILL - BACKFILL WITH 12" GRANULAR FILL
- 6. FINISH - FINISH CURB AND GUTTER
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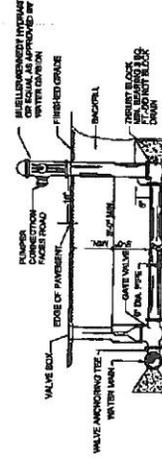


FOR REVISIONS USE ONLY



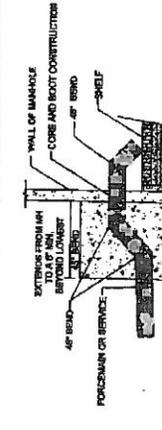
**HYDRANT CONNECTION**  
NOT TO SCALE

CONCRETE SHALL BE PLACED TO THE SLAB AND DIMENSIONS OF THE HYDRANT SHALL BE AS SHOWN.



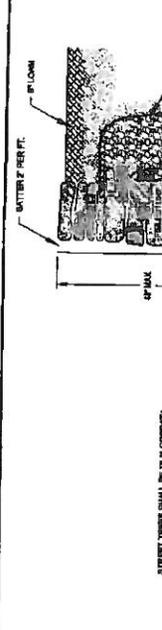
**FORCE MAIN CONNECTION TO SEWER MANHOLE**  
NOT TO SCALE

CONCRETE CURB SHALL BE PLACED TO THE SEWER MANHOLE AND SHALL BE AS SHOWN. THE CURB SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE CURB SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



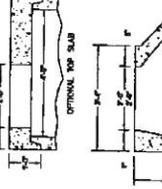
**TREE PLANTING DETAIL**  
NOT TO SCALE

THE HOLE FOR THE TREE SHALL BE 12" IN DIAMETER AND 2' DEEP. THE HOLE SHALL BE REINFORCED WITH 4 #4 BARS. THE HOLE SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



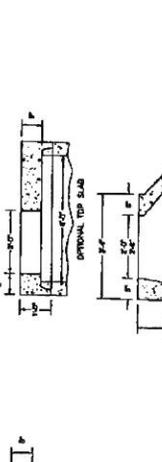
**FIELDSTONE RETAINING WALL DETAIL**  
NOT TO SCALE

ALL FIELDSTONE WALLS SHALL BE BUILT WITH A 4" THICK FILTER FABRIC. THE WALL SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE WALL SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



**DRAIN MANHOLE**  
NOT TO SCALE

CONCRETE SHALL BE PLACED TO THE SLAB AND DIMENSIONS OF THE DRAIN MANHOLE SHALL BE AS SHOWN. THE DRAIN MANHOLE SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE DRAIN MANHOLE SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



**CATCH BASIN**  
NOT TO SCALE

CONCRETE SHALL BE PLACED TO THE SLAB AND DIMENSIONS OF THE CATCH BASIN SHALL BE AS SHOWN. THE CATCH BASIN SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE CATCH BASIN SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



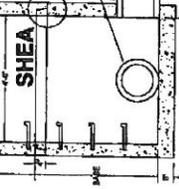
**LAMP POST DETAIL**  
NOT TO SCALE

CONCRETE SHALL BE PLACED TO THE SLAB AND DIMENSIONS OF THE LAMP POST SHALL BE AS SHOWN. THE LAMP POST SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE LAMP POST SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



**SEWER MANHOLE**  
NOT TO SCALE

CONCRETE SHALL BE PLACED TO THE SLAB AND DIMENSIONS OF THE SEWER MANHOLE SHALL BE AS SHOWN. THE SEWER MANHOLE SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE SEWER MANHOLE SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



**GUARD RAIL DETAIL**  
NOT TO SCALE

CONCRETE SHALL BE PLACED TO THE SLAB AND DIMENSIONS OF THE GUARD RAIL SHALL BE AS SHOWN. THE GUARD RAIL SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE GUARD RAIL SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



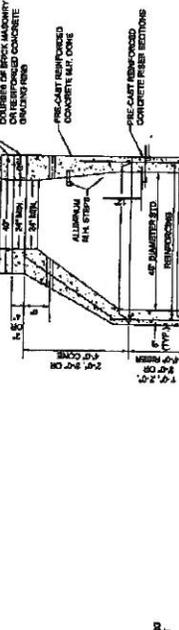
**STANDARD THRUST BLOCKING**  
NOT TO SCALE

CONCRETE SHALL BE PLACED TO THE SLAB AND DIMENSIONS OF THE STANDARD THRUST BLOCKING SHALL BE AS SHOWN. THE STANDARD THRUST BLOCKING SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE STANDARD THRUST BLOCKING SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



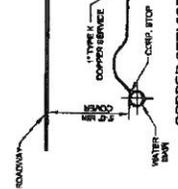
**COPPER SERVICE CONNECTION**  
NOT TO SCALE

CONCRETE SHALL BE PLACED TO THE SLAB AND DIMENSIONS OF THE COPPER SERVICE CONNECTION SHALL BE AS SHOWN. THE COPPER SERVICE CONNECTION SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE COPPER SERVICE CONNECTION SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



**DRAIN MANHOLE**  
NOT TO SCALE

CONCRETE SHALL BE PLACED TO THE SLAB AND DIMENSIONS OF THE DRAIN MANHOLE SHALL BE AS SHOWN. THE DRAIN MANHOLE SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE DRAIN MANHOLE SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



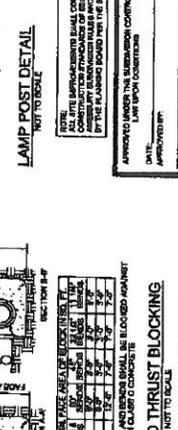
**COPPER SERVICE CONNECTION**  
NOT TO SCALE

CONCRETE SHALL BE PLACED TO THE SLAB AND DIMENSIONS OF THE COPPER SERVICE CONNECTION SHALL BE AS SHOWN. THE COPPER SERVICE CONNECTION SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE COPPER SERVICE CONNECTION SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



**CATCH BASIN**  
NOT TO SCALE

CONCRETE SHALL BE PLACED TO THE SLAB AND DIMENSIONS OF THE CATCH BASIN SHALL BE AS SHOWN. THE CATCH BASIN SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE CATCH BASIN SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



**DRAIN MANHOLE**  
NOT TO SCALE

CONCRETE SHALL BE PLACED TO THE SLAB AND DIMENSIONS OF THE DRAIN MANHOLE SHALL BE AS SHOWN. THE DRAIN MANHOLE SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE DRAIN MANHOLE SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.



**SEWER MANHOLE**  
NOT TO SCALE

CONCRETE SHALL BE PLACED TO THE SLAB AND DIMENSIONS OF THE SEWER MANHOLE SHALL BE AS SHOWN. THE SEWER MANHOLE SHALL BE 12" HIGH AND 12" WIDE AT THE TOP AND 18" WIDE AT THE BASE. THE SEWER MANHOLE SHALL BE 12" THICK AND SHALL BE REINFORCED WITH 4 #4 BARS.

**DEFINITIVE SUBMISSION PLAN**  
FOR  
**LOCKE HILL LANE**  
AMESBURY, MASS.

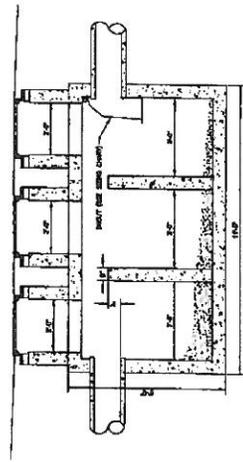
**CONSTRUCTION DETAILS**  
2

APPLICANT: LOCKE HILL LANE, INC.  
DESIGNER: CHRISTIANSEN & SERGI, INC.  
DATE: 07/14/11  
PROJECT NO.: 11-001

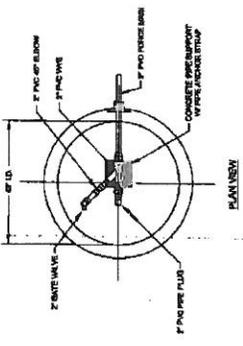
PROFESSIONAL ENGINEER AND LAND SURVEYOR  
**CHRISTIANSEN & SERGI, INC.**  
100 WASHINGTON ST., SUITE 200  
AMESBURY, MASS. 01724  
TEL: 978.253.1111  
WWW.CSISURVEYING.COM

PLANNING BOARD, TOWN OF AMESBURY  
APPROVED: [Signature]  
DATE: 07/14/11

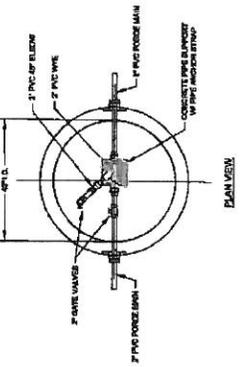
ALL THE INFORMATION SHOWN ON THIS PLAN IS THE PROPERTY OF CHRISTIANSEN & SERGI, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CHRISTIANSEN & SERGI, INC.



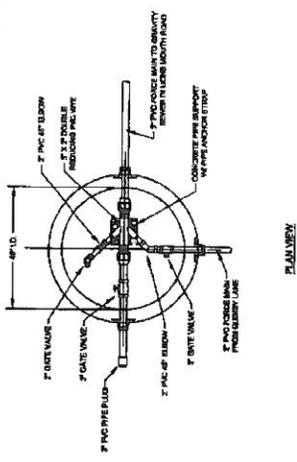
**DETAIL - BAFFLE TANK  
(SEDIMENT REMOVAL)**  
NOT TO SCALE



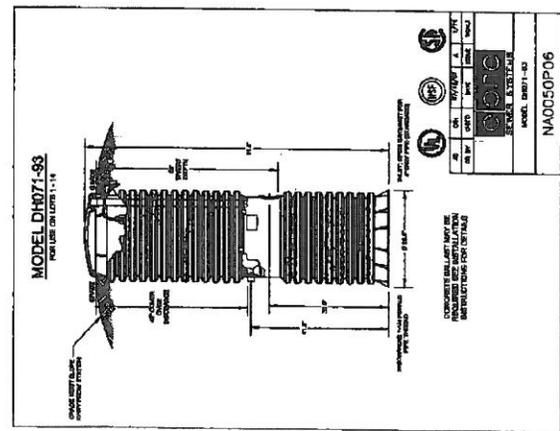
**DETAIL - SEWER MANHOLE #4  
(TERMINAL CLEANOUT)**  
NOT TO SCALE



**DETAIL - SEWER MANHOLES #2 & 3  
(IN-LINE CLEANOUT)**  
NOT TO SCALE



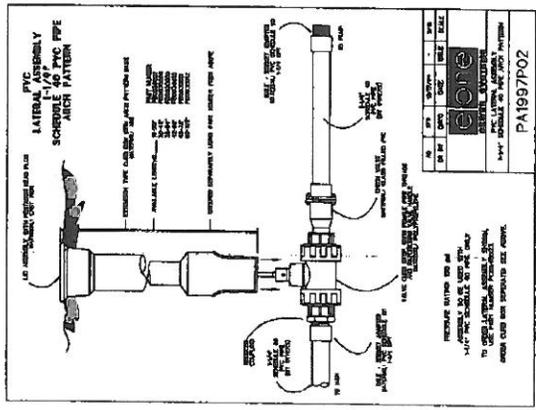
**DETAIL - SEWER MANHOLE #1  
(JUNCTION & CLEANOUT)**  
NOT TO SCALE



**MODEL DH071-93  
POLYURETHANE LAYERS 1-1/2\"/>

DATE	BY	CHKD	REVISED	SCALE

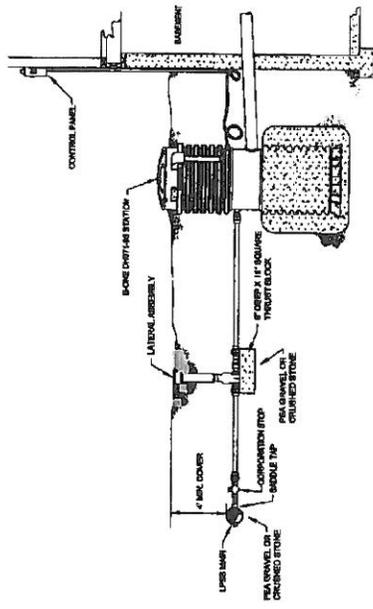
CONCRETE SHALL BE SET BY THE INSTALLER FOR DETAILS**



**PVC LATERAL ASSEMBLY  
SCHEDULE 40 PVC PIPE  
ARCH PATTERN**

DATE	BY	CHKD	REVISED	SCALE

CONCRETE SHALL BE SET BY THE INSTALLER FOR DETAILS



**LOW PRESSURE SEWER PUMP & LATERAL INSTALLATION DETAIL**  
SEE 1-1 FOR SYSTEM  
NOT TO SCALE

**DEFINITIVE SUBDIVISION PLAN**  
FOR  
**LOCKE HILL LANE**  
LOCATED IN  
**AMESBURY, MASS.**

DESIGNED BY: **CHRISTIANSEN & SERGI, INC.**  
100 WASHINGTON ST., SUITE 200  
AMESBURY, MASS. 01810  
TEL: 978-253-1111  
FAX: 978-253-1100

PROFESSIONAL ENGINEER & LAND SURVEYOR  
LICENSE NO. 11011  
EXPIRES 12/31/11

DATE: \_\_\_\_\_  
APPROVED BY: \_\_\_\_\_  
PROFESSIONAL LAND SURVEYOR  
LICENSE NO. \_\_\_\_\_  
EXPIRES \_\_\_\_\_

STAMPED BY: \_\_\_\_\_  
PROFESSIONAL ENGINEER & LAND SURVEYOR  
LICENSE NO. \_\_\_\_\_  
EXPIRES \_\_\_\_\_

**CONSTRUCTION DETAILS**  
3

## DESIGN STANDARDS – LOCHE HILL SUBDIVISION

Given the rural character of the site and the surrounding area, the following architectural design standards and covenants apply to all lots within the Locke Hill Definitive Subdivision Plan that accompanies the Site Plan. All lots and structures shall meet the criteria set forth below and the Planning Board will use these standards to review all submitted elevations and details submitted at the time of lot release. The standards are as follows:

1. **Building Styles** – A combination of Arts and Crafts, Colonial, Expanded Cape, Bungalow, Gambrel, Greek Revival and Shingles styles will be permitted. Contemporary or log homes are not permitted. No two houses next to each other will be similar in style or color.
2. **Building Design** – The following building design requirements shall be required and two reference books shall be used to define the scale, proportion and details for each design element. The reference books are as follows:
  - *Get Your House Right* – Architectural Elements to Use & Avoid, Marianne Cusato & Ben Pentreath, 2004; and
  - *Traditional Construction Patterns* – Design & detail Rules of Thumb, Stephen A. Mouzon, 2001.

The applicable elements included under the design standards for the project are as follows:

- a. **Foundations** - Except for drive-under garages, all exposed concrete foundations shall be less than 24 inches. Foundations higher than 18 inches shall be faced either granite, brick, or be parged.
- b. **Garages** - Front-entry garages shall be located at least 5 feet behind the front building wall of the principle structure. Individual bays shall have separate doors with transom windows. Except for unit 1 on Lot 1, all garage doors on the proposed new street shall not be visible from South Hampton Road. Garages walls facing South Hampton Road shall not be blank and drive-under garages shall not be visible from public ways. Entrances to drive-under garages should be from the side of the house;
- c. **Steps and Stoops** - Front steps and landings shall be made of stone, brick or wood. Pre-cast or pressure treated wood steps and railings shall not be allowed. No more than five steps shall be used to enter a porch, portico or front door.
- d. **Walls** - Continuous walls shall be no longer than 40 feet in length. No blank walls shall be allowed;
- e. **Siding** – Only wood shingles or clapboards, stucco, brick, or cementitious clapboard siding shall be permitted;
- f. **Windows** – Window caps or crowns may be capped with copper, lead or metal. Windows on the façade and both sides of all structures shall be wood or composite material (not vinyl) and shall be double-hung with simulated-divided lights and fit the architectural style of the house. Windows on the same façade should be of same type and size or proportions.
- g. **Projections** – All dormers, bays, balconies and other projections shall be correctly scaled and detailed. Porches shall be at least 6 feet in depth. Dog sheds or chimney

## DESIGN STANDARDS – LOCHE HILL SUBDIVISION

chases shall only be located on the side or rear elevations (except for Lots 3, 14 and 15) and shall have a base and roof as shown on the supplemental elevations and details as presented.

- h. Chimneys – All chimneys shall be made of brick or stone masonry or use a cultured stone veneer finish. Wooden chases are not permitted however, direct vent are permitted provided they are located on the side or rear wall of the structure. Bump outs for chimneys or fireplace inserts will not be allowed.
  - i. Exterior Trim & Decking – Articulated trim details for the windows, fascia, rakes, corner board and porches shall be in keeping with the architectural style of each home. Azek (or equal) material is acceptable for all trim and decking on the side or rear of the structure but decking, treads and steps on the front façade shall be natural wood.
  - j. Roofing Materials – Only “architectural” or “slateline” asphalt, red cedar, slate or composite slate shingles is permitted. Porches or other projections may use metal provided it is less than 20% of the total roof area of the structure.
  - k. Color Schemes – The exterior of the structure shall be painted or stained in natural or earth-tone colors. Historic color palettes shall be used in deciding exterior color schemes.
  - l. Mechanicals – All mechanical equipment shall be located on the side or rear of the structure and shall be screened from view with an enclosure or landscaping. Unless enclosed within a chimney-like structure, all roof vents shall be located on the rear-facing section of the roof and shall have a color similar to the roofing material.
  - m. Accessory Structures – Detached structure shall be designed to be consistent with the architectural style of the principal structure.
3. Site Design – The following site design requirements shall be required:
- a. Front Walkways – Only brick, stone or unit paver walkways are permitted in the front yard of the structure.
  - b. Retaining Wall – Retain walls shall be made from stone or brick and shall not be made from interlocking concrete block unless they are the “tumbled” or “stressed” type (which resemble cobblestone or granite) and are approved by the City Planner.
  - c. Mailboxes – All mailbox posts shall be 6x6 inch granite and all mailboxes shall be black with white numbers/ text.
  - d. Pedestrian Lighting – Traditional period lamp posts and fixtures shall be installed.
  - e. Fences – To maintain consistency within the development any perimeter fencing along the public open space shall be installed with the same design and style. It should be an open post and rail style no higher than 42 inches in height. It shall be installed along the perimeter of the 10 foot public access areas to the open space trails and drainage areas. Fences along the public way shall be no more 42 inches in height.

TO:  
Roland Cullcard DECM LLC  
2 Lawrence Street  
Seabrook NH 03874

**PLANNING BOARD VOTE:**

On August 25, 2014, the Amesbury Planning Board voted all in favor of the 15 Lot Residential Cluster and Definitive Subdivision at 56-58 South Hampton Road, Amesbury MA subject to the findings, waivers and conditions noted in this Decision.

The following members of the Amesbury Planning Board voted on this Decision:

<u>[Signature]</u>	<u>[Signature]</u>
<u>Robert W. Rylands</u>	<u>[Signature]</u>
<u>[Signature]</u>	<u>[Signature]</u>
	<u>[Signature]</u>

Filed with the City Clerk on \_\_\_\_\_

\_\_\_\_\_  
City Clerk

A building permit is required for any construction remodeling. It is your responsibility to file this Decision with the Registry of Deeds and to record the plans after endorsement; forms may be obtained from the City Clerk's Office.

*Any appeal shall be made pursuant to Section 17, Chapter 40A, M.G.L. and shall be filed within twenty (20) days after the date of filing of such notice in the office of the City Clerk's Office.*

**Compliance with Conditions Set Forth by the Amesbury Planning Board Decision  
prior to Issuance of a Building Permit**

**SIGN-OFF FORM (PB200601-BUILDING)**

(IMPORTANT: IT IS THE RESPONSIBILITY OF THE PERSON SEEKING BUILDING PERMIT TO GET THE SIGN OFF FROM EACH OF THE DEPARTMENTS LISTED BELOW. THE CITY WILL NOT BE HELD RESPONSIBLE FOR LACK OF ACTION ON THE APPLICANT'S BEHALF. BEFORE SIGNOFF, COPIES OF THE RECORDED DECISION AND THE APPROVED PLAN SET SHOULD BE SUBMITTED TO THE PLANNING OFFICE.)

By signing below, the following City Department/City Officials, agree that the conditions of this permit prior to making application for building permit have been completed and recommend that an application for a building permit for the units indicated below may be granted:

Engineering Department/City Engineer \_\_\_\_\_

Department of Public Works/DPW Director \_\_\_\_\_

Planning Office/City Planner \_\_\_\_\_

Conservation Commission/Agent \_\_\_\_\_

Police Department \_\_\_\_\_

Fire Department \_\_\_\_\_

**Compliance with Conditions of the Amesbury Planning Board Decision prior to  
Issue of Certificate of Occupancy**

**SIGN-OFF FORM (PB200602-OCCUPANCY)**

(IMPORTANT: IT IS THE RESPONSIBILITY OF THE PERSON SEEKING CERTIFICATE OF OCCUPANCY TO GET THE SIGN OFF FROM EACH OF THESE DEPARTMENTS. THE CITY WILL NOT BE HELD RESPONSIBLE FOR LACK OF ACTION ON THAT PERSON'S BEHALF)

The following City Department/City Officials, by signing below, agree that the conditions of this permit from the start of construction to prior to issue of occupancy permit have been completed and recommend that the Certificate of Occupancy be granted for the units indicated on this form.

Engineering Department/ City Engineer \_\_\_\_\_

Department of Public Works/DPW Director \_\_\_\_\_

Planning Office/ City Planner \_\_\_\_\_

Conservation Commission/Agent \_\_\_\_\_

Police Department \_\_\_\_\_

Fire Department \_\_\_\_\_

## EXHIBIT A

### NOTE:

1. **PRIOR TO FINAL APPROVAL BY THE PLANNING BOARD, THE APPLICANT SHALL SUBMIT TWO COPIES OF THE APPROVED VERSION OF THE SITE OR DEFINITIVE SUBDIVISION PLAN IN A DIGITAL FORMAT. FAILURE TO SUBMIT SUCH DIGITAL PLANS TO THE PLANNING BOARD AND TO OBTAIN A COMPLIANCE LETTER MAY BE CAUSE FOR THE PLANNING BOARD TO NOT ENDORSE SAID PLAN.**
2. **A LETTER FROM THE PLANNING BOARD VERIFYING RECEIPT OF ELECTRONIC FILES AND COMPLIANCE WITH PLANNING BOARD STANDARDS SHALL BE SUBMITTED TO THE APPLICANT WITHIN TEN (10) WORKING DAYS.**
3. **THE PLANNING BOARD WILL REVIEW AND VERIFY THE INTEGRITY OF THE DATA SUBMITTED WITHIN THIRTY (30) WORKING DAYS.**

### MUNICIPAL MAPPING –DIGITAL DATA SUBMISSION REQUIREMENTS

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The following requirements apply to the submission of site or subdivision plans as well as for plans and as-built drawings for infrastructure projects (water/sewer installation or repair, road work, and other capital improvements).

1. All plans and specifications must be submitted on electronic media (3.5" floppy or CD\_ROM using an IBM-PC or compatible file format). Acceptable file formats include: AutoCAD \*.dwg, AutoCAD \*.dxf, ArcView \*.shp, ArcInfo \*.E00. The files must be identical to the printed plan and contain all information included on the written plan. Upon project completion a digital submission of the "as-built" plan is required for final release of the performance bond associated with any project.
2. All digital mapping data must be delivered in the Massachusetts State Plane Coordinate system with a horizontal datum of NAD83 and vertical datum of NGVD88. Each plan must include a minimum of one survey-derived (bearings & distances listed) reference to a permanent in-ground feature such as a catch basin, manhole, stone bound, municipal benchmark or other readily identifiable marker. The permanent in-ground feature should appear on the plan in its' as-built location and include sufficient bearings and distances to be able to locate the feature relative to the property parcel(s). The latitude and longitude of the in-ground feature must be provided with accuracy of plus or minus one foot. Where possible all bearings and distances should be adjusted for true north OR the applicant shall provide a listing of the number of degrees, minutes, and seconds of deviation between true north and magnetic north. If necessary data will be

- accepted in NAD27 or WGS84 coordinate systems using the aforementioned specifications.
3. Each feature type must be organized in the CAD or GIS data structure as a separate layer. For example, there must be separate CAD layers for buildings, roads, road centerlines, surface water, wetlands, etc. Having all these features in a single CAD layer or GIS file will not be accepted.
  4. CAD data may be tiled on paper, PDF or other form of digital output as individual sheets for improved readability, but plans should be derived from a single master drawing. All data will be topologically clean, meaning that polygons are closed (no overshoots or undershoots) and lines connect at nodes. Features that naturally connect such as driveways to roads must connect seamlessly. All text in AutoCAD files will appear on top of other features and will be in separate annotation layer. Features under text should not be erased or 'broken' in order to make the text clearer.
  5. Documentation of the data format must be provided with a description of the CAD layers and list of the types of features placed in each layer. Submission of multiple files must also include a list of the files and their purpose.
  6. Attributes or databases that are included in mapping files must have a definition of the meaning of each field as well as a definition of any values used in each field. Features that contain an elevation component (z-value) must have that elevation value within the attribute data.
  7. The data submitted must include documentation on the method used to gather the data, the name of the person(s) responsible for preparing the data, contact information, an estimation of the horizontal and vertical accuracy, and the date of data capture. All media shall be free from any and all defects and viruses, and labeled as to their contents.