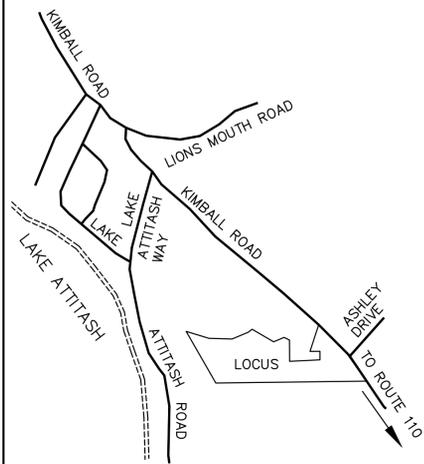


**DEFINITIVE SUBDIVISION
UNDER SPECIAL PERMIT APPLICATION
CLUSTER RESIDENTIAL/COMMON ACCESS DRIVEWAY
AT
47.5 THROUGH 57 KIMBALL ROAD
IN
AMESBURY, MASSACHUSETTS**



LOCUS MAP
1"=1000'±

- PLAN INDEX**
- SHEET 1 — TITLE SHEET
 - SHEET 2-3 — EXISTING CONDITIONS
 - SHEET 4 — COMPOSITE PLAN
 - SHEET 5 — PROPOSED PROPERTY LINES & DWELLINGS
 - SHEET 6 — SITE GRADING
 - SHEET 7 — EASEMENTS
 - SHEET 8 — UTILITIES AND ROAD LAYOUT
 - SHEET 9 — ROADWAY PLAN/PROFILE
 - SHEET 10 — LANDSCAPING & EROSION CONTROL PLAN
 - SHEET 11-13 — DETAILS
 - SHEET 14 — SITE MANAGEMENT

VERTICAL CONTROL

NGVD OF 1929
BASED ON RECORD ASBUILT SEWER PLAN BY WESTON & SAMPSON, SHEET 16, LAST REVISED 7-8-1987
ON FILE WITH THE CITY ENGINEERING DEPARTMENT.

PLAN REFERENCES

PLAN & DEED REFERENCES
RECORDED: SOUTH ESSEX
REGISTRY OF DEEDS.

PL. BK. 345 PL. 44	PL. 387 OF 1958
PL. 594 OF 1971	PL. BK. 154 PL. 39
PL. BK. 159 PL. 96	PL. BK. 90 PL. 64
PL. BK. 128 PL. 37	PL. BK. 90 PL. 65
PL. 335 OF 1971	PL. BK. 304 PL. 79
PL. BK. 127 PL. 58	

ASSESSOR'S LOCATION

ASSESSOR'S MAP 60, PARCELS: 6, 6A, 6B, 6C, 6D & 6E
RECORD ADDRESS: 47.5, 57, 55, 53, 51 & 49

OWNER OF RECORD

YVON CORMIER CONSTRUCTION CORP.
3 GREENSHAW LA., ANDOVER, MA
DEED REF: BOOK 5697, PAGE 435

APPLICANT

BC REALTY TRUST
64 SCHOOL STREET, MERRIMAC, MA

OPEN SPACE CALCULATION

TOTAL AREA OF LOCUS = 19.3350 ACRES
TOTAL AREA OF 8 LOTS = 2.6571 ACRES
TOTAL AREA OF ROAD = 0.3439 ACRES
TOTAL AREA OF PARCELS = 0.2901 ACRES
TOTAL AREA OF LOT 9 (OPEN SPACE) = 16.0439 ACRES
% OF DEVELOPED AREA (LOTS, PARCELS & ROAD) = 17.02%
% OF OPEN SPACE (LOT 9) = 82.98% (50% MIN. REQUIRED)
OPEN SPACE WITHIN WETLANDS = 5.9211 ACRES
% OF OPEN SPACE WITHIN WETLANDS = 36.9% (50% MAX. ALLOWED)
CLUSTER DENSITY BONUS=120% FOR OPEN SPACE GREATER THAN 70%

SITE ZONING

ZONING DISTRICT - R40

	BASE ZONING	CLUSTER ZONING
MIN. LOT AREA	40,000 S.F.	10,000 S.F.
MIN. LOT FRONTAGE	140 FT.	100 FT.*
MIN. BUILDING SETBACKS		
FRONT YARD	40 FT.	25 FT. **
SIDE YARD	25 FT.	15 FT.
REAR YARD	50 FT.	25 FT.
MAX. BUILDING COVERAGE	15%	20%
MIN. OPEN SPACE	50%	50%
MIN. LOT WIDTH	140 FT.	100 FT.***

- * THE PLANNING BOARD MAY WAIVE THE FRONT SETBACK REQUIREMENT TO 15 FEET.
- ** THE PLANNING BOARD MAY WAIVE THE FRONTAGE REQUIREMENT BY UP TO 50% TO PROTECT/ENHANCE THE PRIMARY & SECONDARY RESOURCES
- *** BY DEFINITION THE LOT WIDTH, AT MINIMUM, SHALL EQUAL THE FRONTAGE FROM THE FRONT LOT LINE TO THE REAR SETBACK LINE "UNLESS ALLOWED OTHERWISE".

SUBDIVISION WAIVERS

- WAIVERS FROM THE AMESBURY SUBDIVISION REGULATIONS
- SECTION 6.02.12 TO WAIVE THE REQUIREMENT OF LOCATING ALL TREES GREATER THAN 12" IN DIAMETER. THE LOT IS ALL WOODED. ONLY TREES ALONG KIMBALL ROAD HAVE BEEN LOCATED.
 - SECTION 7.09 G TO WAIVE THE REQUIREMENT FOR ROADWAY CURBING DUE TO THE LOW IMPACT OF THE DRAINAGE SYSTEM.
 - SECTION 7.09 H TO WAIVE THE REQUIREMENT FOR SIDEWALKS.
 - SECTION 7.09 I TO WAIVE THE REQUIREMENT FOR STREET TREES AT 40 FT. INTERVALS TO AS SHOWN ON THE PLAN (35 FT.±).
 - SECTION 7.09 K (2) TO ALLOW A CIRCULAR TURNAROUND CAPABLE OF PROVIDING ACCESS FOR EMERGENCY VEHICLES AND BUSES WITH A 30 FT. WHEEL BASE.
 - SECTION 7.13 TO ALLOW FOR PRIVATE YARD LIGHTS TO BE INSTALLED IN LIEU OF STANDARD STREET LIGHTING FIXTURES.
 - SECTION 8.10 TO ALLOW A 6" DIAMETER DUCTILE IRON WATER MAIN IN LIEU OF THE STANDARD 8" PIPE DUE TO THE LIMITED NUMBER OF HOMES PROPOSED.

WAIVERS FROM THE AMESBURY ZONING BYLAW - CRSP REGULATION

- SECTION XI.D-3b.b.8 TO WAIVE THE REQUIREMENT THAT THE LOCATION OF PROPOSED BUILDINGS ON SHALL BE PREPARED BY A REGISTERED ARCHITECT TO INCLUDE TOTAL SQUARE FOOTAGE, DIMENSIONS OF BUILDINGS AND ELEVATIONS, FLOOR PLANS AND PERSPECTIVE RENDERINGS OF ALL BUILDINGS.
- SECTION XI.D-6b.9 FOR LOTS 4 & 5 TO REDUCE THE MINIMUM FRONT YARD SETBACK FROM 25 FT. TO 15 FT. TO PROTECT THE NATURAL FEATUES IN THE SUBDIVISION AND TO REDUCE THE FRONTAGE OF LOT 6 FROM 100 FT. TO 52.39 FT.

GENERAL NOTES

- THE LOCATIONS OF EXISTING AND SUSPECTED EXISTING UNDERGROUND UTILITIES ARE TAKEN FROM EXISTING AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE EXISTING UTILITY LINES OTHER THAN THOSE SHOWN. THE CONTRACTOR SHALL BE REQUIRED TO CONTACT THE PROPER UTILITY COMPANIES AND DIG-SAFE PRIOR TO BEGINNING ANY CONSTRUCTION ON THE SITE. ATLANTIC ENGINEERING DOES NOT WARRANT OR GUARANTEE THE LOCATION (S) OF ANY UTILITIES SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL DIMENSIONS AND GRADING ON THE SITE AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES OR DEVIATIONS FROM THE CONSTRUCTION PLANS TO THE ENGINEER. FAILURE TO TO PERFORM THIS VERIFICATION IN A TIMELY MANNER MAY RESULT IN A DELAY IN THE NECESSARY CORRECTIVE ACTION. NO ADDITIONAL COMPENSATION (TIME OR MONETARY) SHALL BE CONSIDERED DUE TO DELAYS IN THE CONTRACTOR'S INSTALLATIONS AS A RESULT OF CONDITIONS WHICH WERE NOT IDENTIFIED BY THE CONTRACTOR ON TIME FOR CORRECTION BY THE CONSTRUCTION MANAGER OR THE ENGINEER.
- THE SITE SHALL BE GRADED AND COMPACTED TO THE ELEVATIONS AND CONTOURS SET FORTH IN THESE PLANS.
- UNLESS OTHERWISE SPECIFIED, ALL INSTALLATION, CONSTRUCTION AND CONSTRUCTION MATERIALS SHALL, IN ALL RESPECTS, CONFORM TO THE FOLLOWING:
 - MASSACHUSETTS STATE BUILDING CODE, (LATEST EDITION)
 - MASSACHUSETTS HIGHWAY DESIGN STANDARDS (LATEST EDITION)
 - AMERICANS WITH DISABILITIES ACT
 - CITY OF AMESBURY STANDARDS AND APPLICATION APPROVALS
 IN THE CASE OF CONFLICT BETWEEN CODES, STANDARDS, REGULATIONS, SPECIFICATIONS, PLAN NOTES AND/OR MANUFACTURER REQUIREMENTS, THE MOST STRINGENT STANDARD AND PROVISION IS TO BE USED, UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SURVEY LAYOUT OF ALL ITEMS REQUIRED TO COMPLETE THE SCOPE OF WORK. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY CORRECTIVE ACTION REQUIRED FOR ITEMS NOT CONSTRUCTED WHERE PROPOSED.
- THE CONTRACTOR SHALL CALL DIG-SAFE A MINIMUM OF 72 HOURS, EXCLUSIVE OF SATURDAYS, SUNDAYS AND LEGAL HOLIDAYS, PRIOR TO BEGINNING ANY EXCAVATION AT THE SITE.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL SAFETY CODES.
- THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, STREETS, TREES, UTILITIES AND PLANTINGS ON OR OFF THE PREMISES, AND SHALL BE RESPONSIBLE, AT NO EXPENSE TO THE OWNER, TO REPAIR AND/OR REPLACE OR OTHERWISE MAKE GOOD AS DIRECTED BY THE OWNER ANY SUCH OR OTHER DAMAGE SO CAUSED.
- THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL RUBBISH AND DEBRI DURING SITE CONSTRUCTION. STORAGE OF SUCH MATERIALS ON THE PROJECT SITE WILL NOT BE PERMITTED.
- THE CONTRACTOR SHALL GIVE A NOTICE TO THE PERTINENT MUNICIPAL DEPARTMENTS AS REQUIRED BY PERMITS AND PROJECT APPROVALS BEFORE COMMENCING WORK IN THE FIELD.
- THE PLANS AND SPECIFICATIONS FOR THIS SITE ARE INTENDED TO BE EXPLANATORY OF THE WORK TO BE DONE AND OF EACH OTHER, BUT SHOULD ANY OMISSION, ERRORS OR OTHER DISCREPANCIES APPEAR, THEY SHALL BE SUBJECT TO CORRECTION AND INTERPRETATION BY ATLANTIC ENGINEERING THEREBY FULFILLING THE INTENT OF THE PLANS.
- GAS, TELEPHONE, CABLE AND ELECTRIC UTILITIES SHALL BE INSTALLED AT THE DIRECTION OF THE RESPECTIVE UTILITY AND TO THE STANDARDS REQUIRED BY THOSE UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO INCORPORATE THE COST AND SCHEDULING OF THESE ITEMS IN THEIR SCOPE OF SERVICES.
- THE EXISTING CONDITIONS SHOWN ON THESE PLANS ARE TO BE CONSIDERED APPROXIMATE. THE EXISTING PLAN INFORMATION SHOWN SHALL BE USED FOR REFERENCE ONLY TO AID THE CONTRACTOR IN DETERMINING THE OVERALL EXISTING SITE CONDITIONS AND THE EXISTING SITE FEATURES WHICH WILL NEED TO BE DEMOLISHED OR CHANGED AS PART OF THE SITE IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY ALL INFORMATION. THE OWNER SHALL NOT BE RESPONSIBLE FOR ANY ADDITIONAL COST INCURRED BY THE CONTRACTOR FOR CURRENT EXISTING CONDITIONS WHICH WERE NOT VERIFIED.
- GRANITE MONUMENTS 4" x 4" x 4" WITH A 3/8" DRILL HOLE ARE TO BE FURNISHED AND SET AT AT ALL ANGLE POINTS AND BEGINNINGS AND ENDS OF CURVES ALONG THE RIGHT OF WAY. IRON PIPES/RODS ARE TO BE SET AT ALL LOT CORNERS OF THE DEVELOPED LOTS. MONUMENTS ARE NOT TO BE SET UNTIL ALL CONSTRUCTION THAT WOULD DESTROY/DISTURB THEM IS COMPLETE.
- THIS SITE IS TO BE SERVICED BY CITY WATER, MUNICIPAL SEWER, NATURAL GAS AND UNDERGROUND TELEPHONE, ELECTRIC AND CALBLE.
- THE BOUNDARIES SHOWN ON THIS PLAN ARE BASED ON REFERENCED PLANS, DEEDS OF RECORD AND AN ON THE GROUND SURVEY. CERTIFICATIONS ON THIS PLAN ARE INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS AND REQUIREMENTS THAT MAY BE REQUIRED BY MUNICIPAL REGULATIONS. CERTIFICATION AS TO TITLE OR OWNERSHIP OF THE SITE IS NOT INTENDED OR IMPLIED OR AS TO THE EXISTENCE OF UNRECORDED EASEMENTS. ABUTTING OWNERSHIPS ARE ACCORDING TO CURRENT ASSESSOR RECORDS.
- THIS SUBDIVISION IS APPROVED UNDER THE CLUSTER RESIDENTIAL SPECIAL PERMIT (CRSP) PER SECTION XI.D AND FURTHER UNDER THE COMMON ACCESS DRIVEWAY (CAD) PROVISION PER SECTION XI.O, BOTH OF THE AMESBURY ZONING BYLAW.
- THE WETLAND RESOURCE AREAS SHOWN ON THIS PLAN WERE DELINEATED DURING APRIL 2013, BY WETLANDS AND LAND MANAGEMENT, INC.
- SEE THE CITY OF AMESBURY PLANNING BOARD DECISION FOR APPROVAL CONDITIONS. DECISION DATED:
- THIS SUBDIVISION HAS RECEIVED APPROVAL FROM THE AMESBURY PLANNING BOARD AND THE COMMON DRIVEWAY WITHIN THE SUBDIVISION CONFORMS TO THE STANDARDS AND REQUIREMENTS OF THE AMESBURY SUBDIVISION RULES AND REGULATIONS EXCEPT AS WAIVED BY THE PLANNING BOARD'S DECISION.
- NO CLUSTER LOT OR AREA DESIGNATED AS COMMON OPEN SPACE SHOWN ON THE PLAN MAY BE FURTHER SUBDIVIDED INTO ADDITIONAL RESIDENTIAL LOTS. ADJUSTMENTS MAY BE MADE BETWEEN EXISTING CLUSTER LOT LOT LINES APPROVED AS PART OF THE SPECIAL PERMIT IN CONFORMANCE WITH THE ZONING DIMENSIONAL REQUIREMENTS DEFINED IN THE SPECIAL PERMIT FINDINGS AND THE DECISIONS RECORDED HEREWITH.

LEGEND

- EXISTING CONTOUR -----100-----
- PROPOSED CONTOUR -----(140)-----
- EXISTING WATER LINE -----=====
- PROPOSED WATER LINE -----W-----
- EXISTING HYDRANT -----
- PROPOSED HYDRANT -----
- PROPOSED GATE VALVE -----
- PROP. ELEC./TEL./CABLE/F. ALARM -----UU-----
- EXISTING STONE WALL -----
- EXISTING EDGE OF PAVEMENT -----
- PROPOSED SPOT ELEVATION 100.0
- PROPOSED BOUND -----
- PROPOSED IRON ROD -----
- CENTERLINE / STATION -----
- PROPOSED FLARED END SECTION -----
- PROPOSED CEM. CONC. HEADWALL -----
- RIP - RAP -----
- TEST PIT -----
- 100 FT. BUFFER LINE -----
- BORDERING VEGETATED WETLANDS -----
- TEMPORARY EROSION CONTROL -----
- EXISTING TREE SIZE & TYPE -----
- TREE MARKED TO BE REMOVED -----

RESERVED FOR REGISTRY USE

AMESBURY PLANNING BOARD
APPROVAL UNDER SUBDIVISION CONTROL LAWS IS REQUIRED.

DATE: _____

APPROVED DEFINITIVE SUBDIVISION/SPECIAL PERMIT SUBJECT TO TERMS AND CONDITIONS STATED IN A "MEMORANDUM OF DECISION" DATED _____ BETWEEN THE AMESBURY PLANNING BOARD, ON BEHALF OF THE CITY OF AMESBURY, AND _____

A COPY OF WHICH IS RECORDED HEREWITH AND SUBJECT ALSO TO RECORDING OF THIS PLAN AND SAID DECISION IN THE SOUTH ESSEX REGISTRY OF DEEDS ON OR BEFORE _____

CLERK CERTIFICATION

I, THE CLERK OF THE CITY OF AMESBURY, MA DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE ON _____ AND THAT UNDER M.G.L. CH.41, SEC. 81X NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK _____ DATE _____

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**DEFINITIVE
SUBDIVISION OF LAND
AT
47.5-57 KIMBALL ROAD
IN
AMESBURY, MASSACHUSETTS**

TITLE SHEET

PREPARED FOR: BC REALTY TRUST
64 SCHOOL STREET
MERRIMAC, MASSACHUSETTS

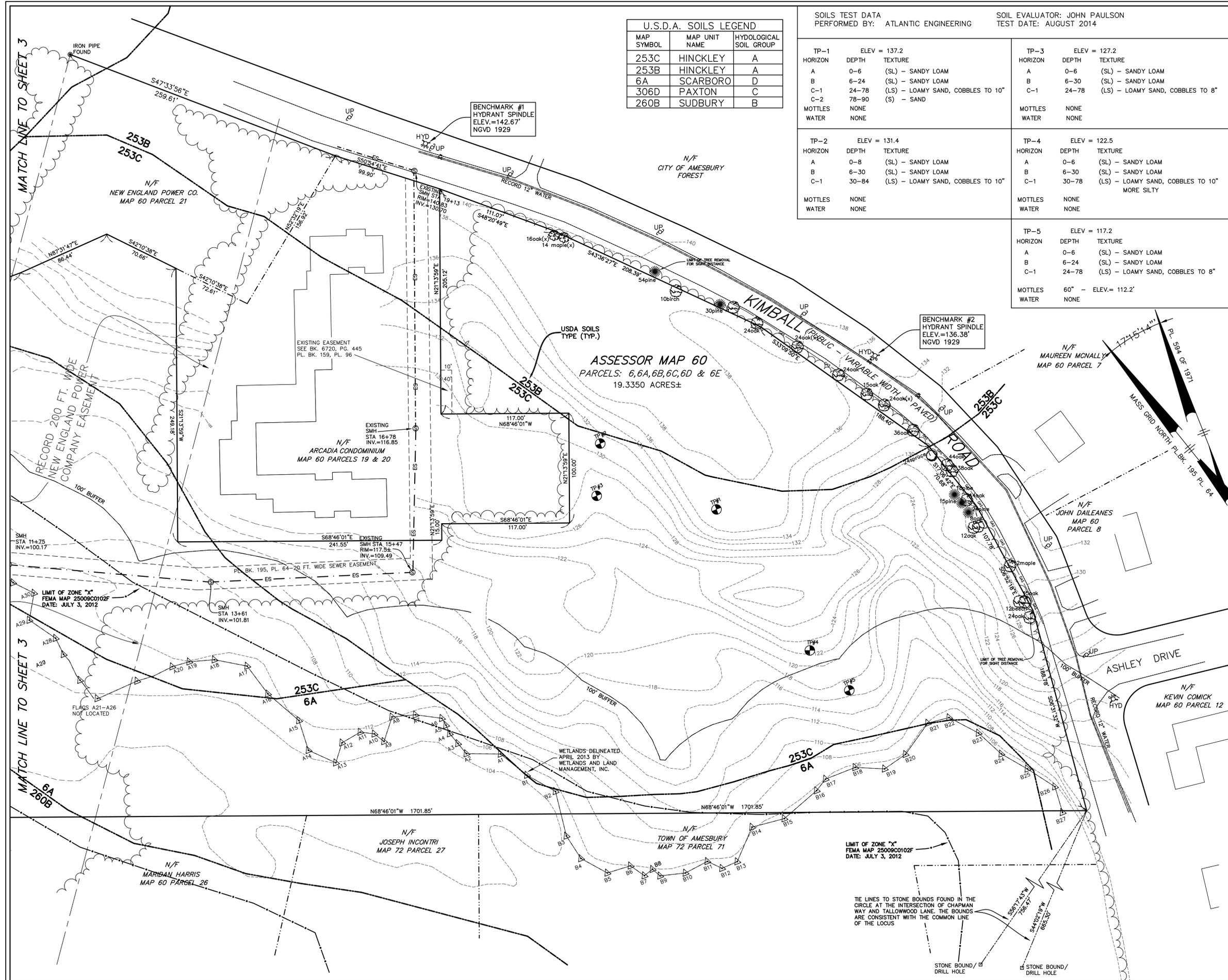
ENGINEER:
ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC.
97 TENNEY STREET - GEORGETOWN, MA 01833
PHONE: 978-352-7870 FAX: 978-352-9940

DRAWING FILE: \SEQ92\2KIMBALL-2014-CRSP.DWG

JOB NO. A1103-04 DATE: JAN. 20, 2015

REVISIONS:
#1
#2
#3

AS NOTED



U.S.D.A. SOILS LEGEND		
MAP SYMBOL	MAP UNIT NAME	HYDROLOGICAL SOIL GROUP
253C	HINCKLEY	A
253B	HINCKLEY	A
6A	SCARBORO	D
306D	PAXTON	C
260B	SUDBURY	B

SOILS TEST DATA PERFORMED BY: ATLANTIC ENGINEERING			SOIL EVALUATOR: JOHN PAULSON TEST DATE: AUGUST 2014		
TP-1	ELEV = 137.2		TP-3	ELEV = 127.2	
HORIZON	DEPTH	TEXTURE	HORIZON	DEPTH	TEXTURE
A	0-6	(SL) - SANDY LOAM	A	0-6	(SL) - SANDY LOAM
B	6-24	(SL) - SANDY LOAM	B	6-30	(SL) - SANDY LOAM
C-1	24-78	(LS) - LOAMY SAND, COBBLES TO 10"	C-1	24-78	(LS) - LOAMY SAND, COBBLES TO 8"
C-2	78-90	(S) - SAND			
MOTTLES	NONE		MOTTLES	NONE	
WATER	NONE		WATER	NONE	
TP-2	ELEV = 131.4		TP-4	ELEV = 122.5	
HORIZON	DEPTH	TEXTURE	HORIZON	DEPTH	TEXTURE
A	0-8	(SL) - SANDY LOAM	A	0-6	(SL) - SANDY LOAM
B	6-30	(SL) - SANDY LOAM	B	6-30	(SL) - SANDY LOAM
C-1	30-84	(LS) - LOAMY SAND, COBBLES TO 10"	C-1	30-78	(LS) - LOAMY SAND, COBBLES TO 10" MORE SILTY
MOTTLES	NONE		MOTTLES	NONE	
WATER	NONE		WATER	NONE	
TP-5	ELEV = 117.2				
HORIZON	DEPTH	TEXTURE			
A	0-6	(SL) - SANDY LOAM			
B	6-24	(SL) - SANDY LOAM			
C-1	24-78	(LS) - LOAMY SAND, COBBLES TO 8"			
MOTTLES	60" - ELEV. = 112.2'				
WATER	NONE				

RESERVED FOR REGISTRY USE

AMESBURY PLANNING BOARD
APPROVAL UNDER SUBDIVISION CONTROL LAWS IS REQUIRED.

DATE: _____

APPROVED DEFINITIVE SUBDIVISION/SPECIAL PERMIT SUBJECT TO TERMS AND CONDITIONS STATED IN A "MEMORANDUM OF DECISION" DATED _____ BETWEEN THE AMESBURY PLANNING BOARD, ON BEHALF OF THE CITY OF AMESBURY, AND _____

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**DEFINITIVE
SUBDIVISION OF LAND
AT
47.5-57 KIMBALL ROAD
IN
AMESBURY, MASSACHUSETTS**

**EXISTING
CONDITIONS**

PREPARED FOR: BC REALTY TRUST
64 SCHOOL STREET
MERRIMAC, MASSACHUSETTS

ENGINEER:
ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC.
97 TENNEY STREET - GEORGETOWN, MA 01833
PHONE: 978-352-7870 FAX: 978-352-9940

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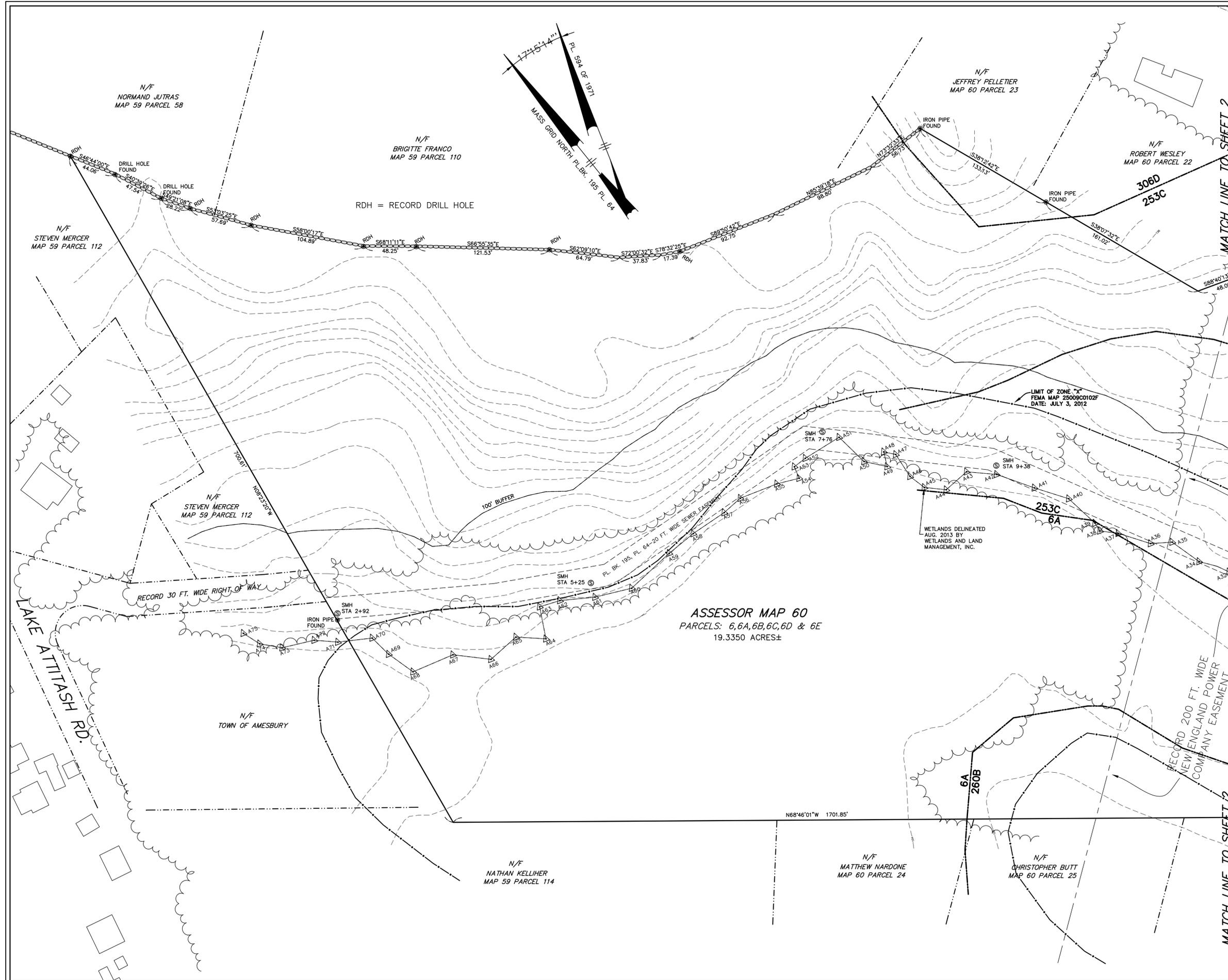
JOB NO. A1103-04 DATE: JAN. 20, 2015

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#2
#3



Scale: 1" = 40'

SHEET 2 OF 14



ASSESSOR MAP 60
 PARCELS: 6, 6A, 6B, 6C, 6D & 6E
 19.3350 ACRES±

RESERVED FOR REGISTRY USE

AMESBURY PLANNING BOARD
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**DEFINITIVE
 SUBDIVISION OF LAND
 AT
 47.5-57 KIMBALL ROAD
 IN
 AMESBURY, MASSACHUSETTS**

**EXISTING
 CONDITIONS**

PREPARED FOR: BC REALTY TRUST
 64 SCHOOL STREET
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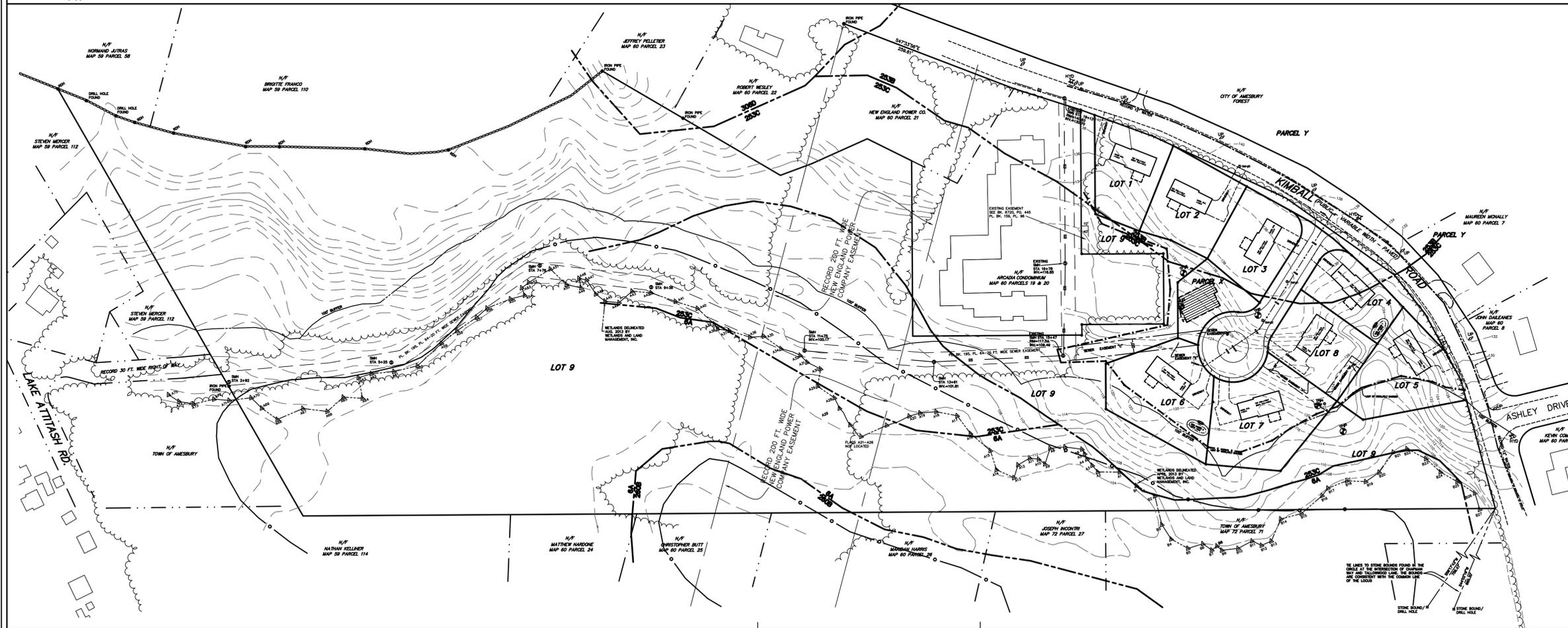
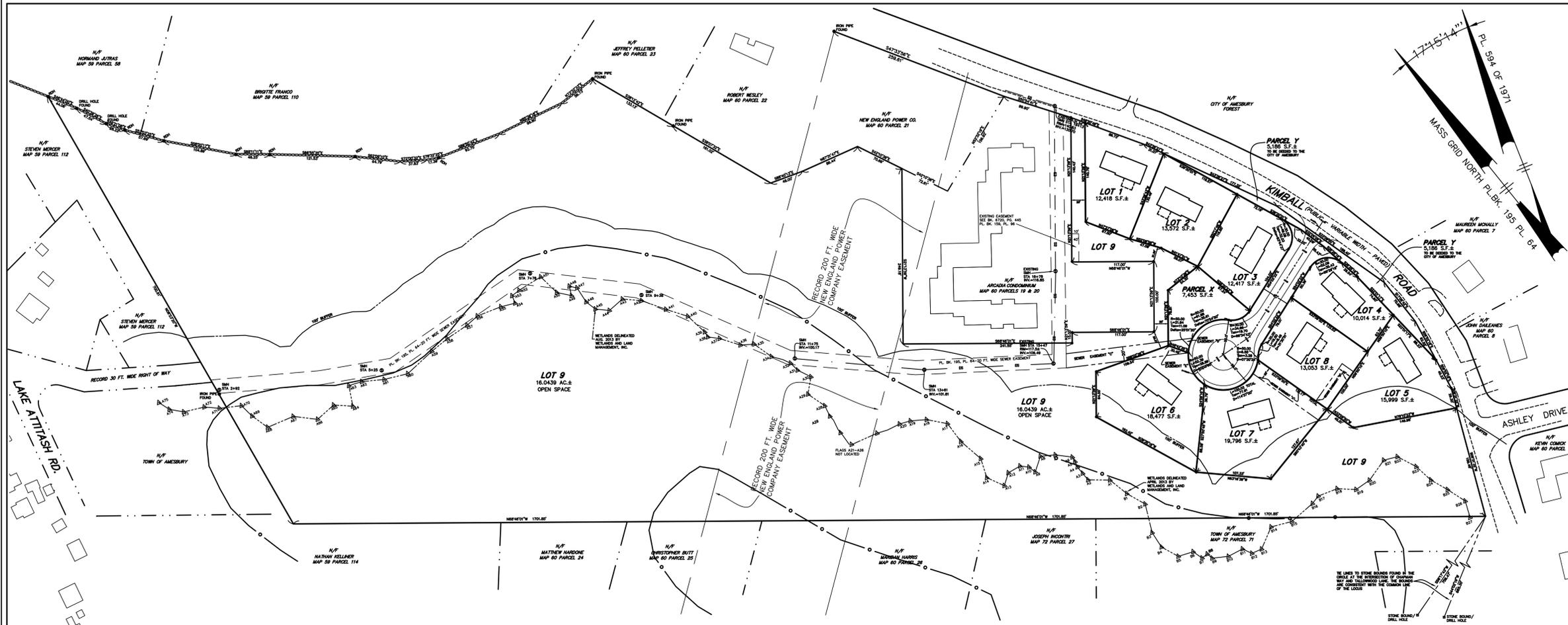
JOB NO. A1103-04 DATE: JAN. 20, 2015

REVISIONS:
 #1
 #2
 #3



Scale: 1"= 40'

SHEET 3 OF 14



RESERVED FOR REGISTRY USE

AMESBURY PLANNING BOARD
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APPROVED DEFINITIVE SUBDIVISION/SPECIAL PERMIT SUBJECT TO TERMS AND CONDITIONS STATED IN A "MEMORANDUM OF DECISION" DATED _____ BETWEEN THE AMESBURY PLANNING BOARD, ON BEHALF OF THE CITY OF AMESBURY, AND _____

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**DEFINITIVE
 SUBDIVISION OF LAND
 AT
 47.5-57 KIMBALL ROAD
 IN
 AMESBURY, MASSACHUSETTS**

COMPOSITE PLAN

PREPARED FOR: BC REALTY TRUST
 64 SCHOOL STREET
 MERRIMAC, MASSACHUSETTS

ENGINEER:
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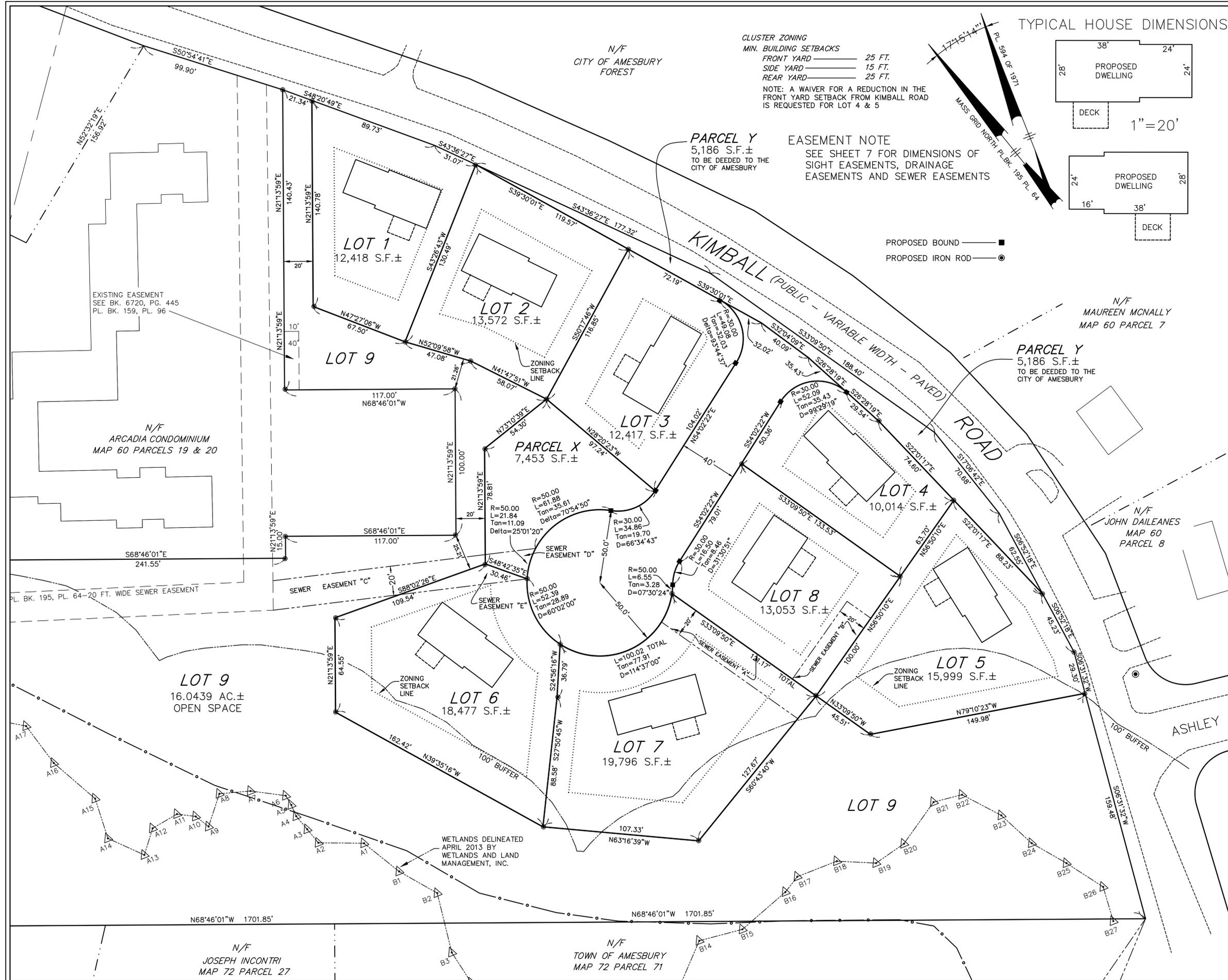
JOB NO. A1103-04 DATE: JAN. 20, 2015

REVISIONS:
 #1
 #2
 #3



SHEET 4 OF 14





N/F CITY OF AMESBURY FOREST

N/F MAUREEN MCNALLY MAP 60 PARCEL 7

N/F JOHN DAILEANES MAP 60 PARCEL 8

N/F TOWN OF AMESBURY MAP 72 PARCEL 71

N/F JOSEPH INCONTRI MAP 72 PARCEL 27

N/F ARCADIA CONDOMINIUM MAP 60 PARCELS 19 & 20

EXISTING EASEMENT SEE BK. 6720, PG. 445 PL. BK. 159, PL. 96

PL. BK. 195, PL. 64-20 FT. WIDE SEWER EASEMENT

SEWER EASEMENT "C"

SEWER EASEMENT "D"

SEWER EASEMENT "E"

SEWER EASEMENT "F"

SEWER EASEMENT "G"

SEWER EASEMENT "H"

SEWER EASEMENT "I"

SEWER EASEMENT "J"

SEWER EASEMENT "K"

SEWER EASEMENT "L"

SEWER EASEMENT "M"

SEWER EASEMENT "N"

SEWER EASEMENT "O"

SEWER EASEMENT "P"

SEWER EASEMENT "Q"

SEWER EASEMENT "R"

SEWER EASEMENT "S"

SEWER EASEMENT "T"

SEWER EASEMENT "U"

SEWER EASEMENT "V"

SEWER EASEMENT "W"

SEWER EASEMENT "X"

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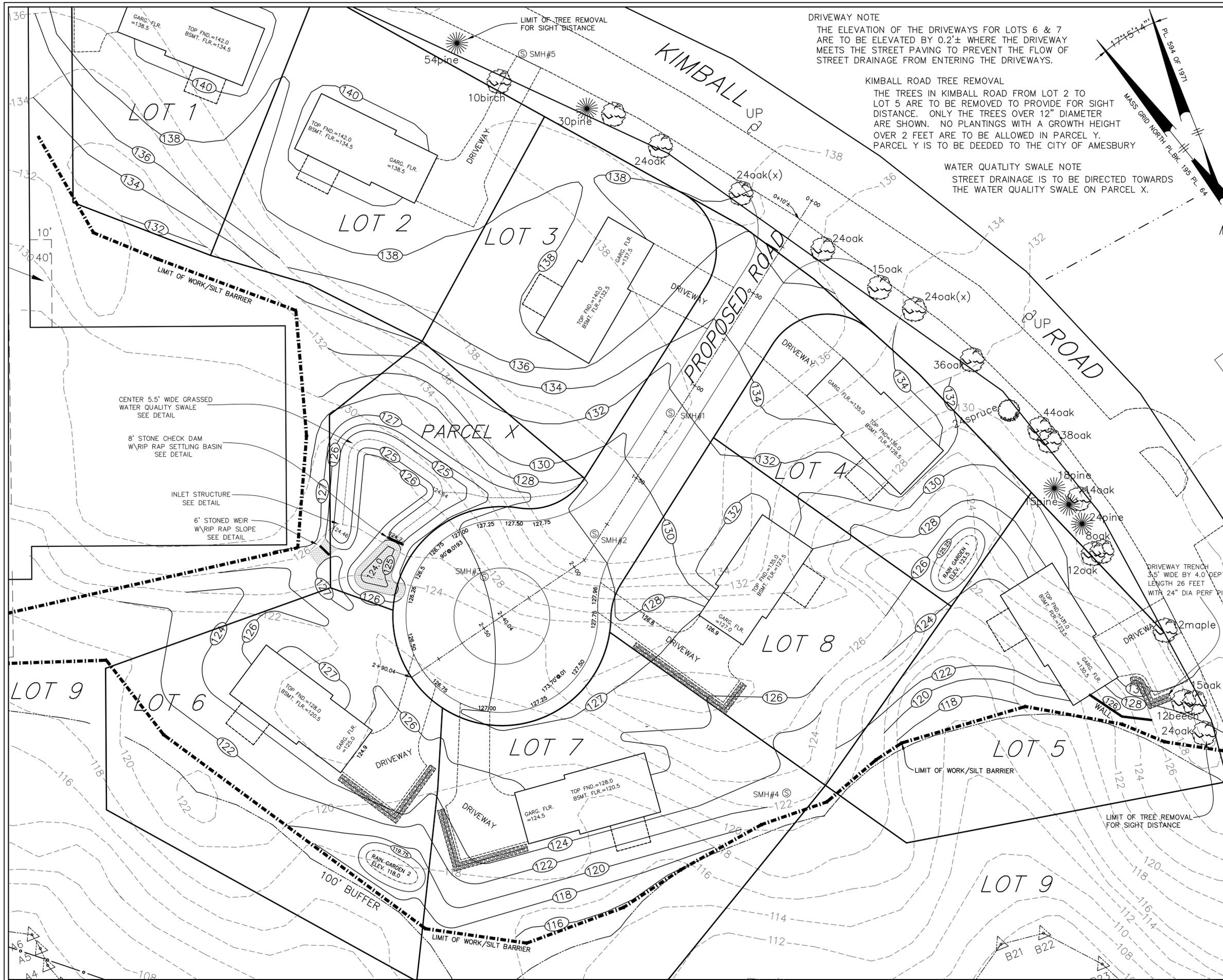
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DRIVEWAY NOTE
 THE ELEVATION OF THE DRIVEWAYS FOR LOTS 6 & 7 ARE TO BE ELEVATED BY 0.2'± WHERE THE DRIVEWAY MEETS THE STREET PAVING TO PREVENT THE FLOW OF STREET DRAINAGE FROM ENTERING THE DRIVEWAYS.

KIMBALL ROAD TREE REMOVAL
 THE TREES IN KIMBALL ROAD FROM LOT 2 TO LOT 5 ARE TO BE REMOVED TO PROVIDE FOR SIGHT DISTANCE. ONLY THE TREES OVER 12" DIAMETER ARE SHOWN. NO PLANTINGS WITH A GROWTH HEIGHT OVER 2 FEET ARE TO BE ALLOWED IN PARCEL Y. PARCEL Y IS TO BE DEEDED TO THE CITY OF AMESBURY

WATER QUALITY SWALE NOTE
 STREET DRAINAGE IS TO BE DIRECTED TOWARDS THE WATER QUALITY SWALE ON PARCEL X.

RESERVED FOR REGISTRY USE

AMESBURY PLANNING BOARD
 APPROVAL UNDER SUBDIVISION CONTROL LAWS IS REQUIRED.

DATE: _____
 APPROVED DEFINITIVE SUBDIVISION/SPECIAL PERMIT SUBJECT TO TERMS AND CONDITIONS STATED IN A "MEMORANDUM OF DECISION" DATED _____ BETWEEN THE AMESBURY PLANNING BOARD, ON BEHALF OF THE CITY OF AMESBURY, AND _____

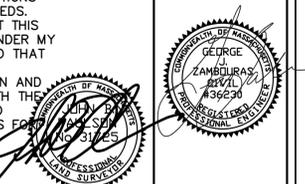
A COPY OF WHICH IS RECORDED HERewith AND SUBJECT ALSO TO RECORDING OF THIS PLAN AND SAID DECISION IN THE SOUTH ESSEX REGISTRY OF DEEDS ON OR BEFORE _____

CLERK CERTIFICATION

I, THE CLERK OF THE CITY OF AMESBURY, MA DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE ON _____ AND THAT UNDER M.G.L. CH.41, SEC. 81X NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK _____ DATE _____

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DEFINITIVE SUBDIVISION OF LAND AT 47.5-57 KIMBALL ROAD IN AMESBURY, MASSACHUSETTS

SITE GRADING PLAN

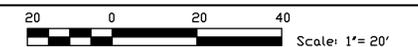
PREPARED FOR: BC REALTY TRUST
 64 SCHOOL STREET
 MERRIMAC, MASSACHUSETTS

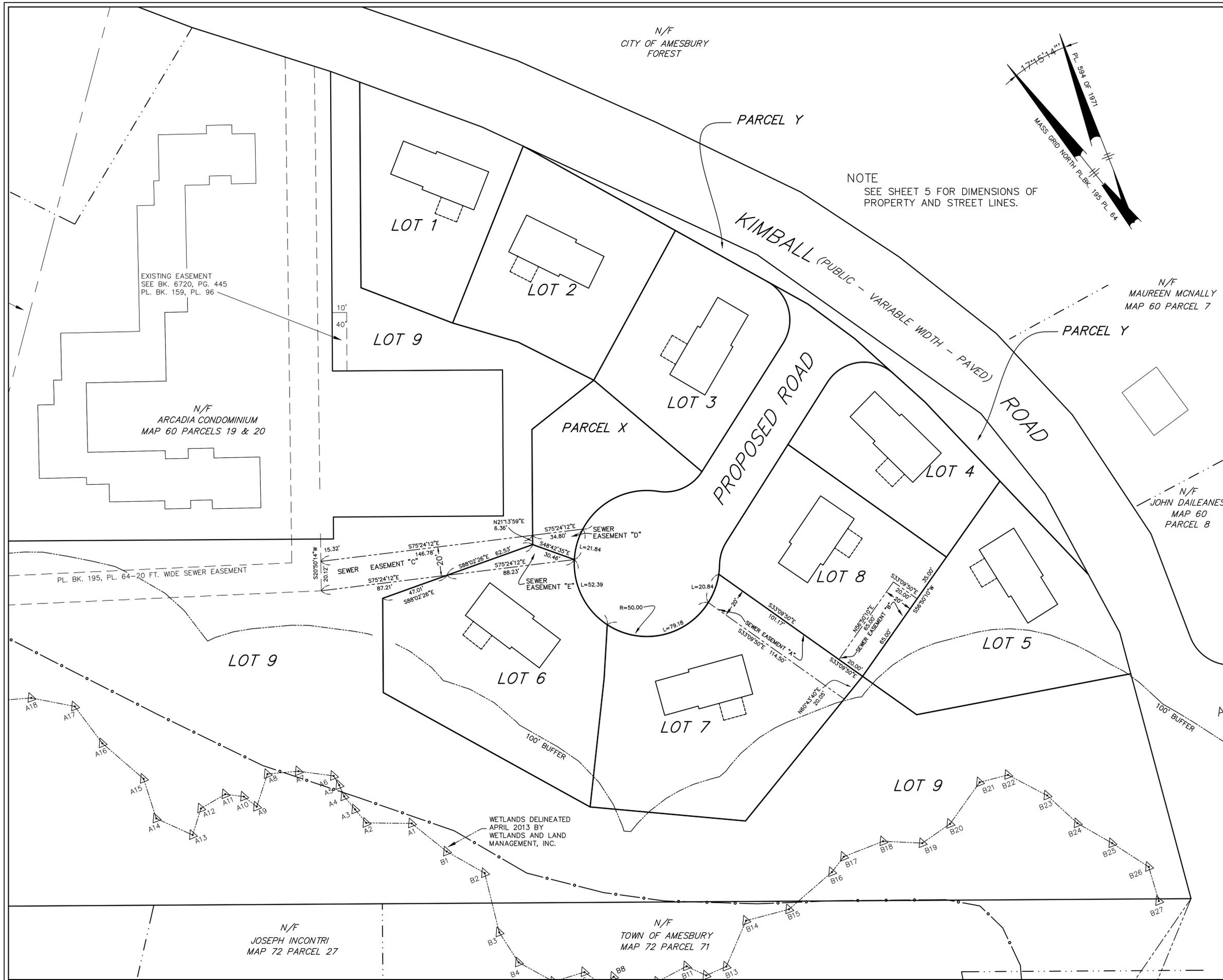
ENGINEER: ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC.
 97 TENNEY STREET - GEORGETOWN, MA 01833
 PHONE: 978-352-7870 FAX: 978-352-9940

DRAWING FILE: \SEQ92\2KIMBALL-2014-CRSP.DWG

JOB NO. A1103-04 DATE: JAN. 20, 2015

REVISIONS:
 #1
 #2
 #3





RESERVED FOR REGISTRY USE

AMESBURY PLANNING BOARD
APPROVAL UNDER SUBDIVISION CONTROL LAWS IS REQUIRED.

DATE: _____

APPROVED DEFINITIVE SUBDIVISION/SPECIAL PERMIT SUBJECT TO TERMS AND CONDITIONS STATED IN A "MEMORANDUM OF DECISION" DATED _____ BETWEEN THE AMESBURY PLANNING BOARD, ON BEHALF OF THE CITY OF AMESBURY, AND _____

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CITY CLERK _____ DATE _____

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**DEFINITIVE
SUBDIVISION OF LAND
AT
47.5-57 KIMBALL ROAD
IN
AMESBURY, MASSACHUSETTS**

EASEMENTS

PREPARED FOR: BC REALTY TRUST
64 SCHOOL STREET
MERRIMAC, MASSACHUSETTS

ENGINEER:
ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC.
97 TENNEY STREET - GEORGETOWN, MA 01833
PHONE: 978-352-7870 FAX: 978-352-9940

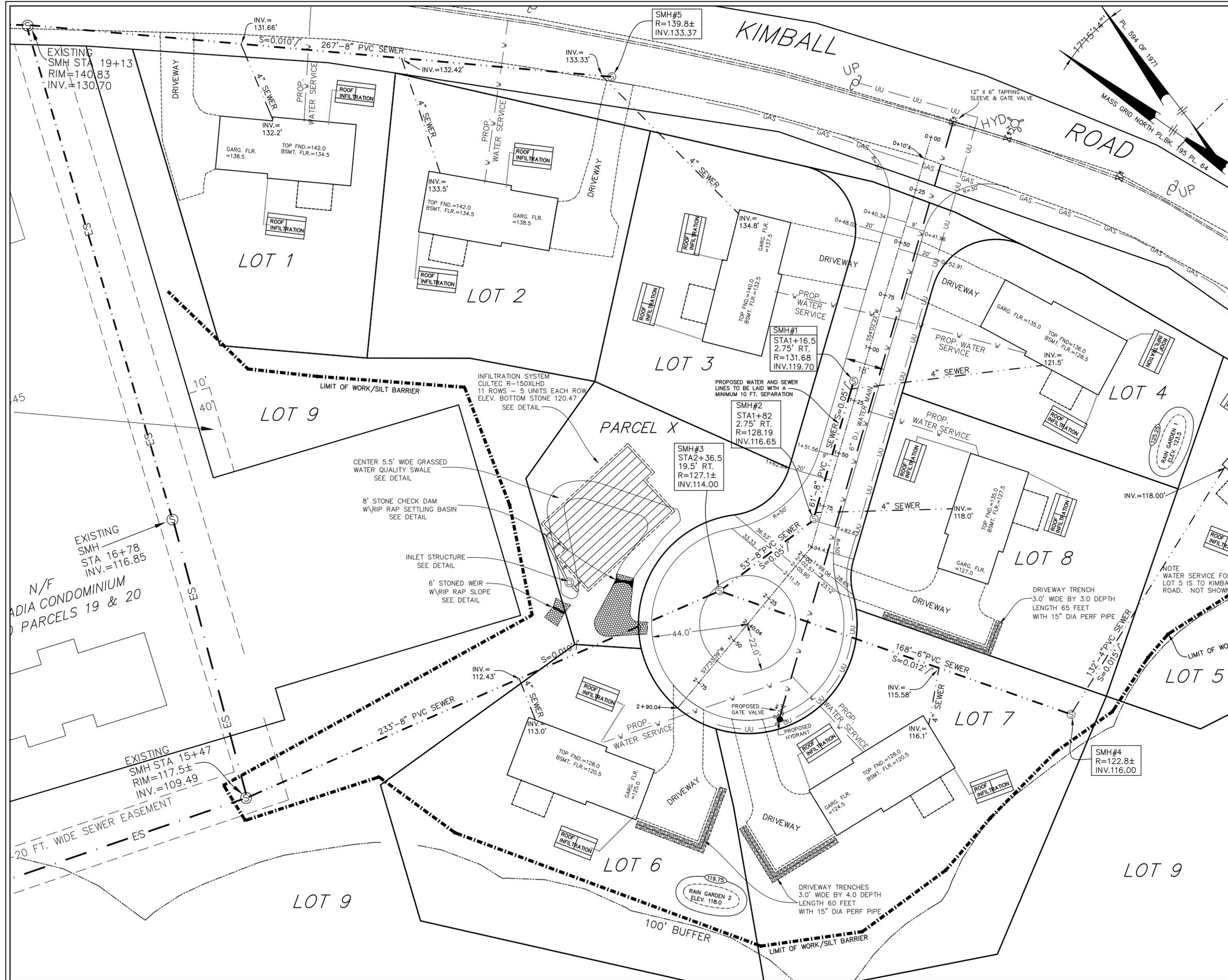
DRAWING FILE: \\SEQ92\2KIMBALL-2014-CRSP.DWG

JOB NO. A1103-04 DATE: JAN. 20, 2015

REVISIONS:
#1
#2
#3

30 0 30 60
Scale: 1"= 30'

SHEET 7 OF 14



RESERVED FOR REGISTRY USE

AMESBURY PLANNING BOARD
 APPROVAL UNDER SUBDIVISION CONTROL LAWS IS REQUIRED.

DATE: _____
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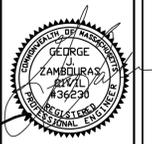
A COPY OF WHICH IS RECORDED HERewith AND SUBJECT ALSO TO RECORDING OF THIS PLAN AND SAID DECISION IN THE SOUTH ESSEX REGISTRY OF DEEDS ON OR BEFORE _____

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DEFINITIVE SUBDIVISION OF LAND AT 47.5-57 KIMBALL ROAD IN AMESBURY, MASSACHUSETTS UTILITIES AND ROAD LAYOUT

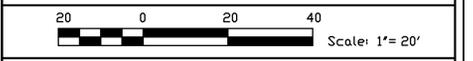
PREPARED FOR: BC REALTY TRUST
 64 SCHOOL STREET
 MERRIMAC, MASSACHUSETTS

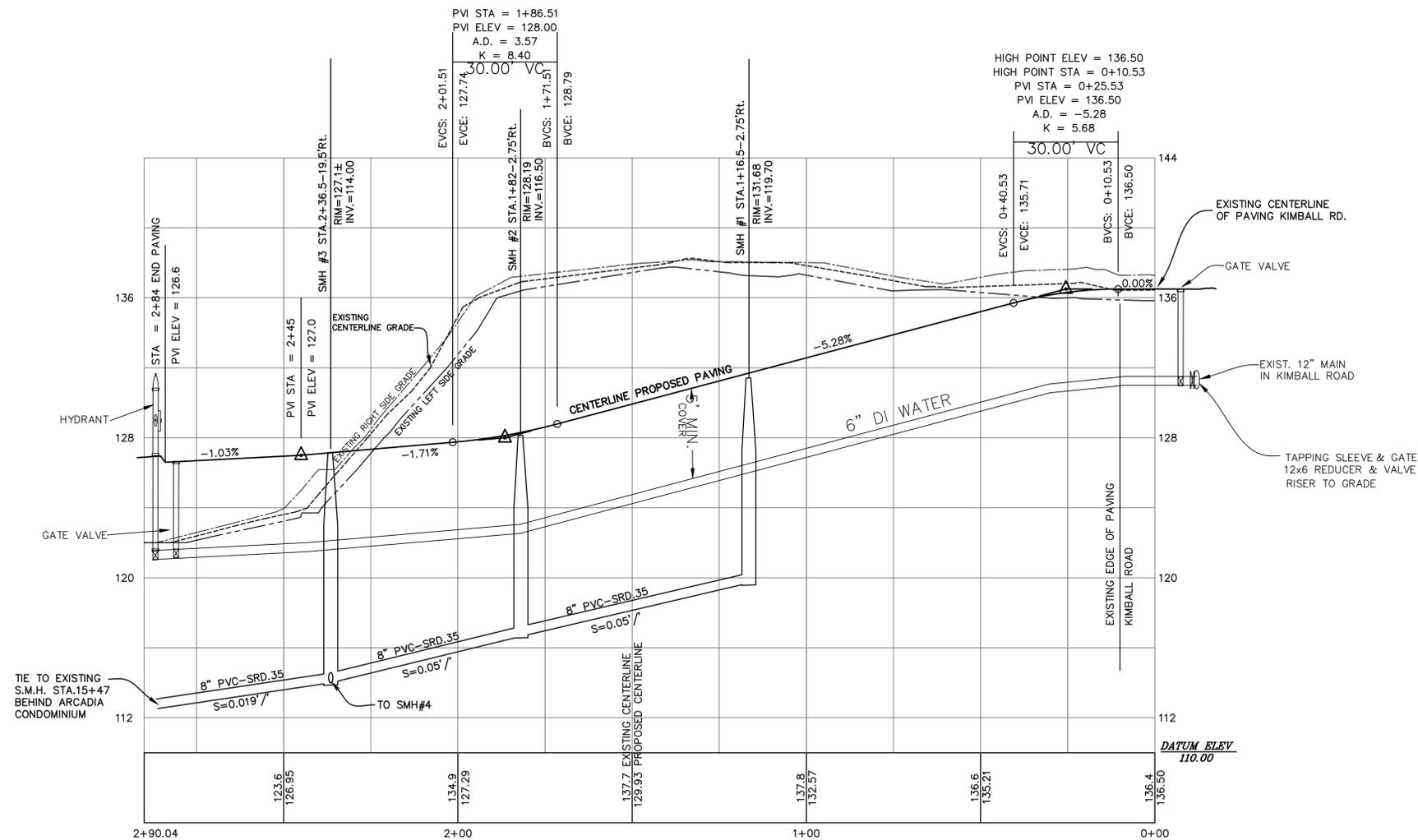
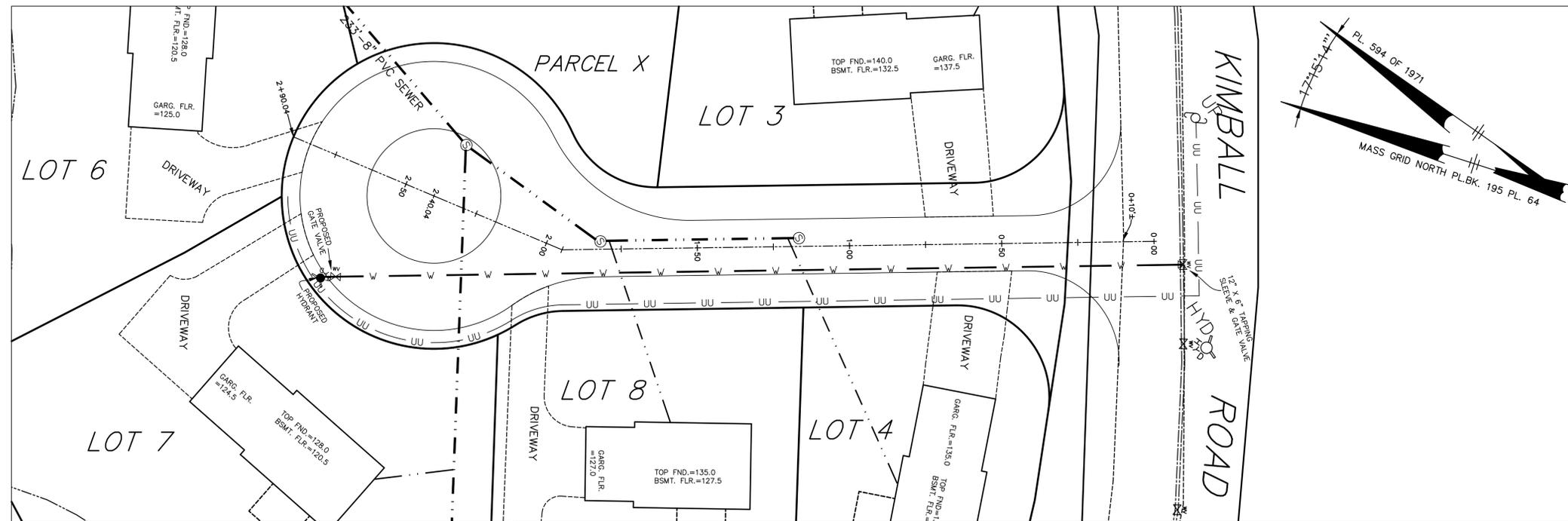
ENGINEER:
ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC.
 97 TENNEY STREET - GEORGETOWN, MA 01833
 PHONE: 978-352-7870 FAX: 978-352-9940

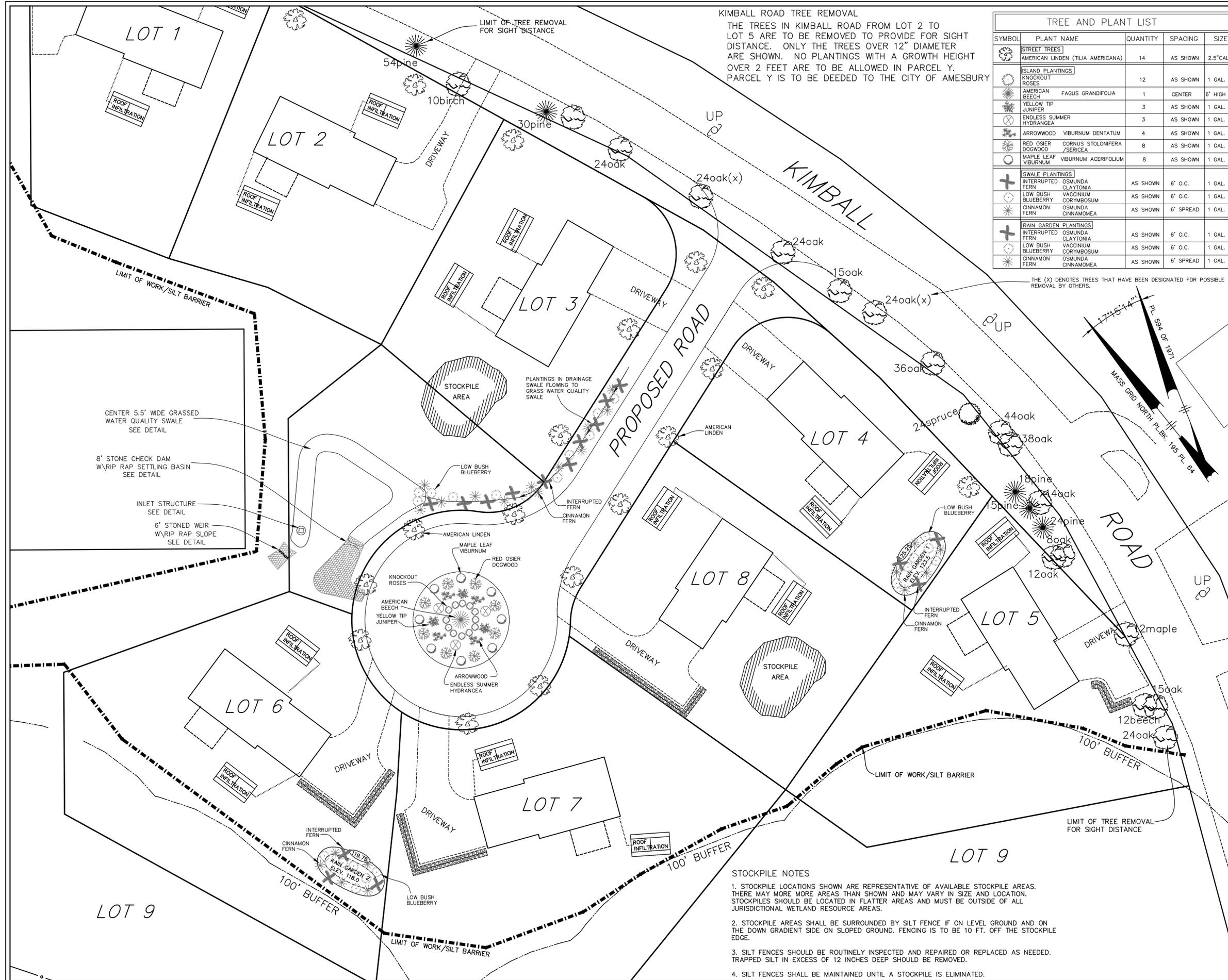
DRAWING FILE: \\SEQ92\KIMBALL-2014-CRSP.DWG

JOB NO. A1103-04 DATE: JAN. 20, 2015

REVISIONS:
 #1
 #2
 #3







TREE AND PLANT LIST				
SYMBOL	PLANT NAME	QUANTITY	SPACING	SIZE
STREET TREES				
(Symbol)	AMERICAN LINDEN (TILIA AMERICANA)	14	AS SHOWN	2.5" CAL.
ISLAND PLANTINGS				
(Symbol)	AMERICAN BEECH	12	AS SHOWN	1 GAL.
(Symbol)	YELLOW TIP JUNIPER	1	CENTER	6' HIGH
(Symbol)	ENDLESS SUMMER HYDRANGEA	3	AS SHOWN	1 GAL.
(Symbol)	ARROWWOOD	3	AS SHOWN	1 GAL.
(Symbol)	RED OSIER DOGWOOD	4	AS SHOWN	1 GAL.
(Symbol)	MAPLE LEAF VIBURNUM	8	AS SHOWN	1 GAL.
(Symbol)	LOW BUSH BLUEBERRY	8	AS SHOWN	1 GAL.
(Symbol)	CINNAMON FERN	8	AS SHOWN	1 GAL.
SWALE PLANTINGS				
(Symbol)	INTERRUPTED FERN	AS SHOWN	6' O.C.	1 GAL.
(Symbol)	LOW BUSH BLUEBERRY	AS SHOWN	6' O.C.	1 GAL.
(Symbol)	CINNAMON FERN	AS SHOWN	6' SPREAD	1 GAL.
RAIN GARDEN PLANTINGS				
(Symbol)	INTERRUPTED FERN	AS SHOWN	6' O.C.	1 GAL.
(Symbol)	LOW BUSH BLUEBERRY	AS SHOWN	6' O.C.	1 GAL.
(Symbol)	CINNAMON FERN	AS SHOWN	6' SPREAD	1 GAL.

RESERVED FOR REGISTRY USE

AMESBURY PLANNING BOARD
 APPROVAL UNDER SUBDIVISION CONTROL LAWS IS REQUIRED.

DATE: _____

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[Signature]

[Seal]

DEFINITIVE SUBDIVISION OF LAND AT 47.5-57 KIMBALL ROAD IN AMESBURY, MASSACHUSETTS LANDSCAPING & EROSION CONTROL

PREPARED FOR: BC REALTY TRUST
 64 SCHOOL STREET
 MERRIMAC, MASSACHUSETTS

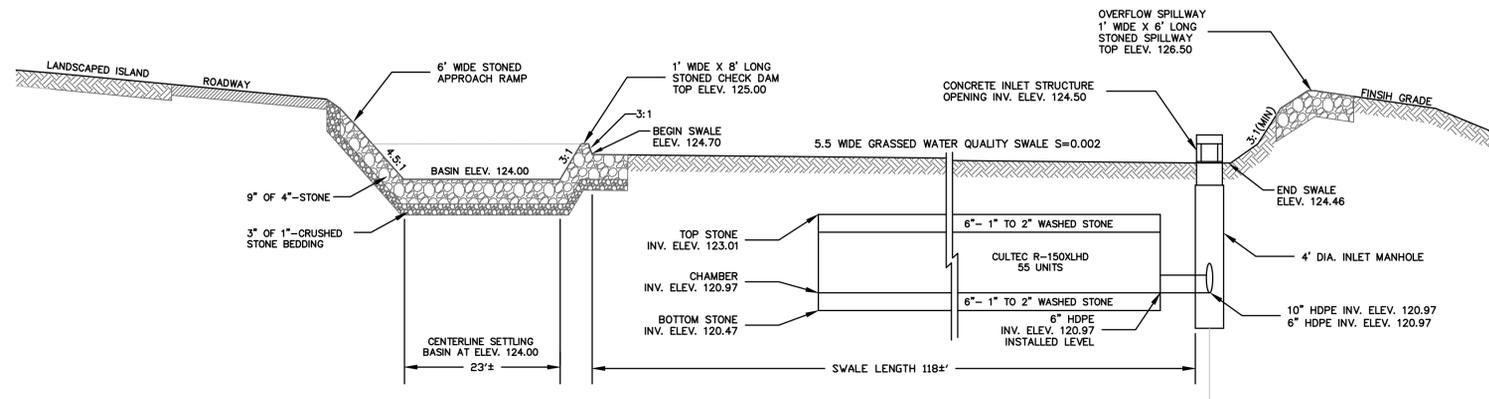
ENGINEER: ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC.
 97 TENNEY STREET - GEORGETOWN, MA 01833
 PHONE: 978-352-7870 FAX: 978-352-9940

DRAWING FILE: \SEQ92\KIMBALL-2014-CRSP.DWG

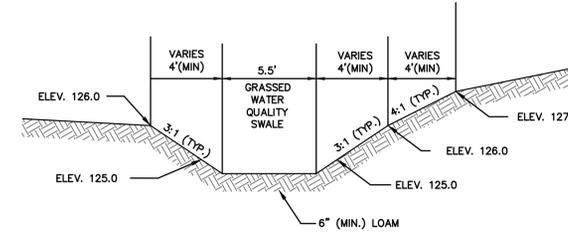
JOB NO. A1103-04 DATE: JAN. 20, 2015

REVISIONS:
 #1
 #2
 #3

Scale: 1" = 20'



STORMWATER MANAGEMENT - CENTERLINE PROFILE
N.T.S.



WATER QUALITY SWALE - SECTION
N.T.S.

RESERVED FOR REGISTRY USE
AMESBURY PLANNING BOARD
APPROVAL UNDER SUBDIVISION CONTROL LAWS IS REQUIRED.

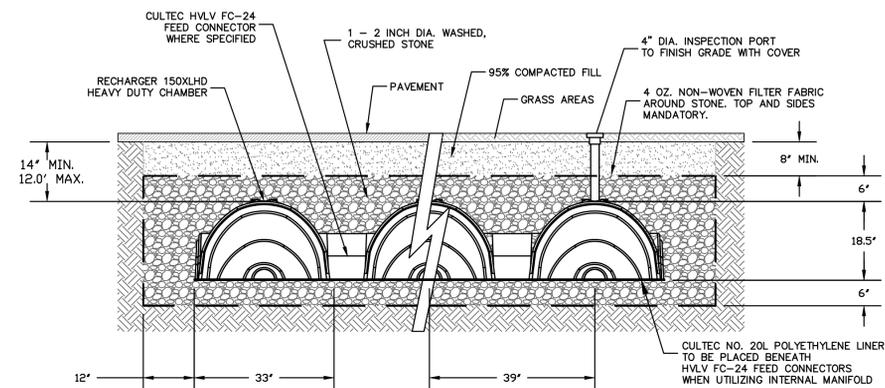
DATE: _____
APPROVED DEFINITIVE SUBDIVISION/SPECIAL PERMIT SUBJECT TO TERMS AND CONDITIONS STATED IN A "MEMORANDUM OF DECISION" DATED _____ BETWEEN THE AMESBURY PLANNING BOARD, ON BEHALF OF THE CITY OF AMESBURY, AND _____
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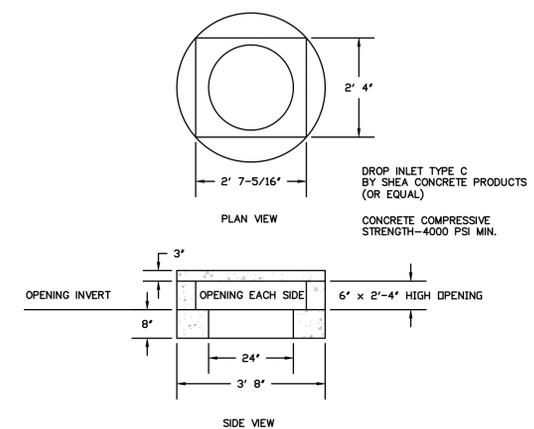
DEFINITIVE SUBDIVISION OF LAND AT 47.5-57 KIMBALL ROAD IN AMESBURY, MASSACHUSETTS

DETAILS
PREPARED FOR: BC REALTY TRUST, 64 SCHOOL STREET, MERRIMAC, MASSACHUSETTS
ENGINEER: ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC., 97 TENNEY STREET - GEORGETOWN, MA 01833, PHONE: 978-352-7870, FAX: 978-352-9940
DRAWING FILE: \SEQ92\2KIMBALL-2014-CRSP.DWG
JOB NO. A1103-04 DATE: JAN. 20, 2015
REVISIONS:
#1
#2
#3
AS NOTED

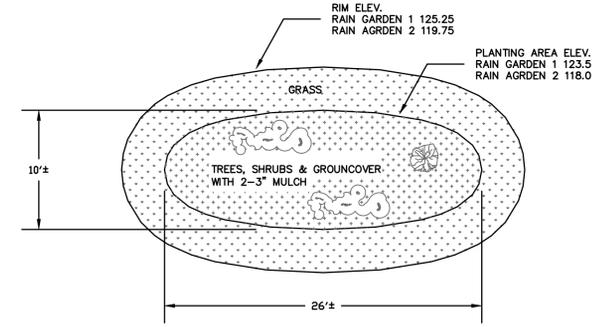


CROSS SECTION CULTEC RECHARGER 150XLHD - TYPICAL SECTION
N.T.S.

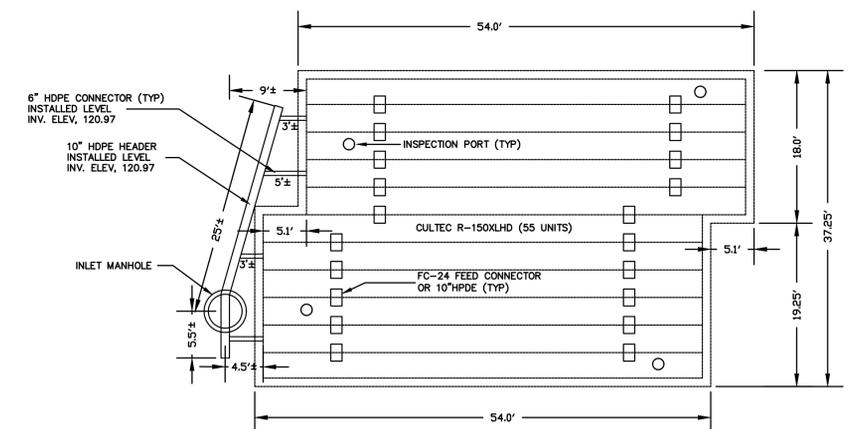
GENERAL NOTES
RECHARGER 150XLHD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 4.89 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12'. THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.
ALL RECHARGER 150XLHD HEAVY DUTY UNITS ARE MARKED WITH A COLORED STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL RECHARGER 150XLHD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.



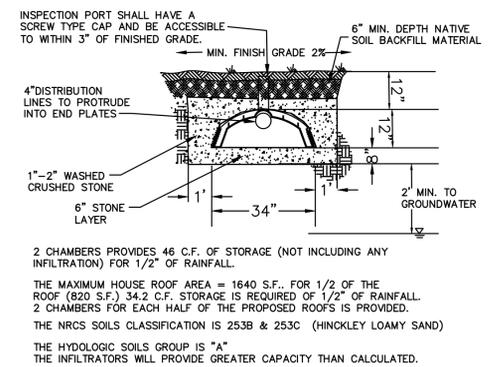
CONCRETE INLET STRUCTURE
N.T.S.



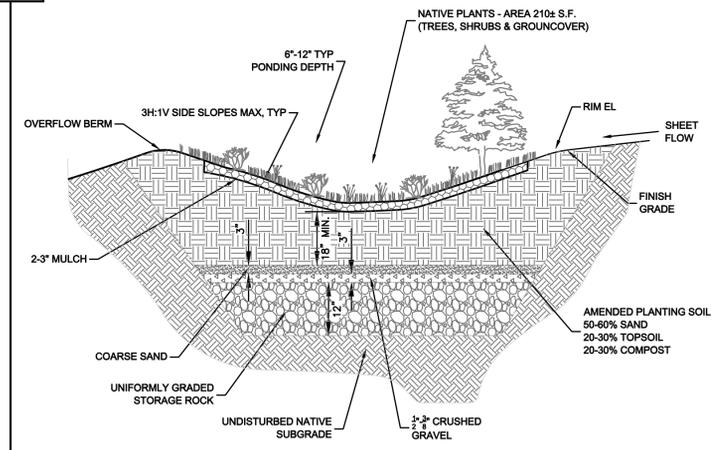
RAIN GARDEN - PLAN
N.T.S.



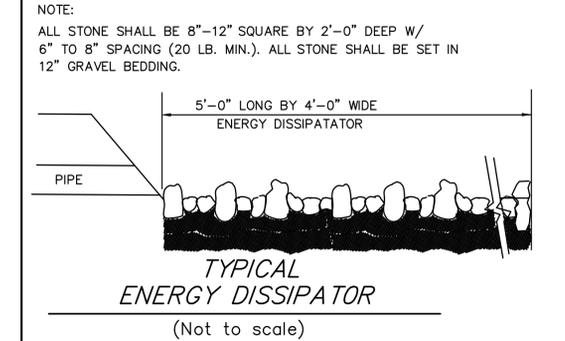
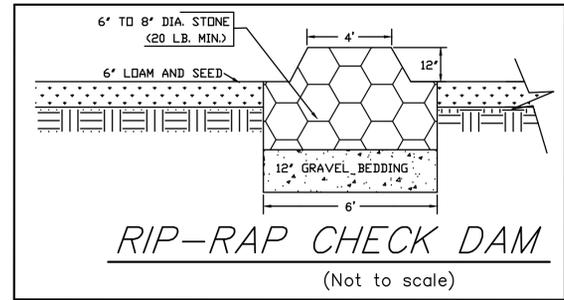
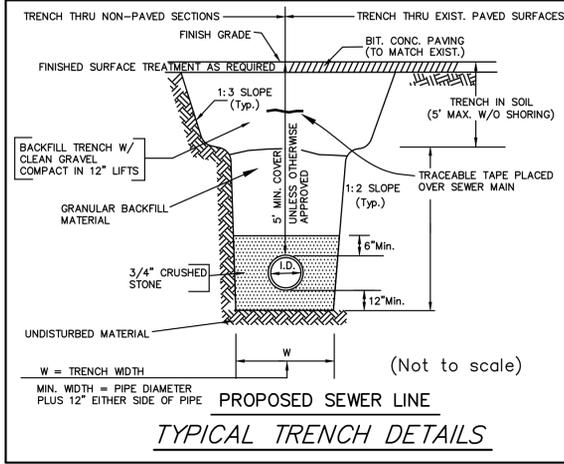
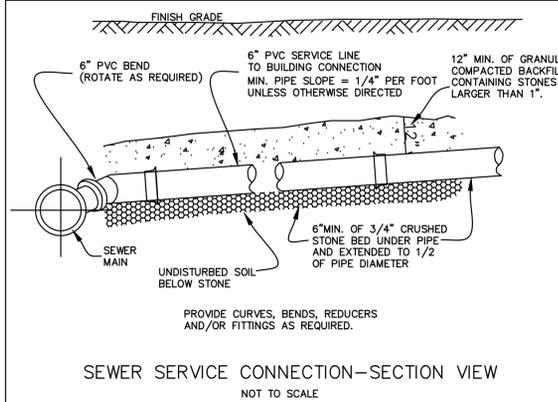
CULTEC RECHARGER 150XLHD - LAYOUT
N.T.S.



ROOF INFILTRATION
INFILTRATOR SYSTEMS INC
QUICK4 ISI STANDARD CHAMBERS(12")
WWW.INFILTRATORSYSTEMS.COM - 1-800-221-4436 OR APPROVED EQUAL



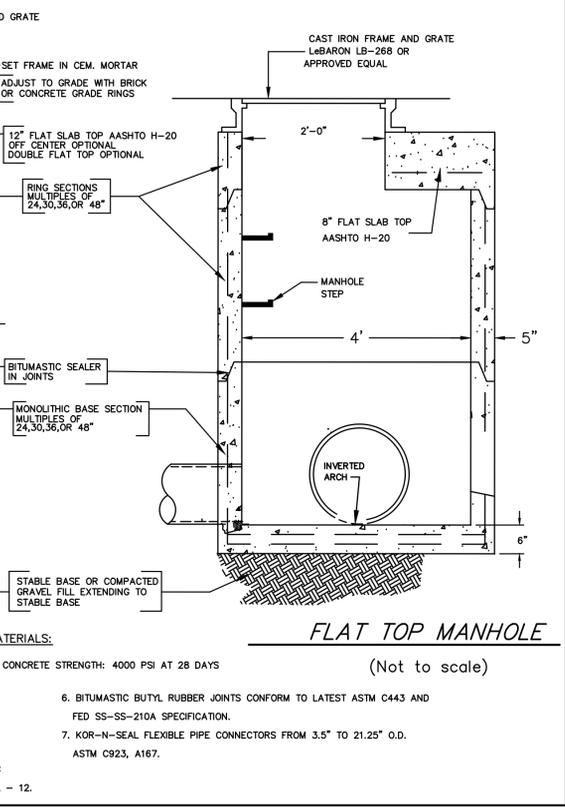
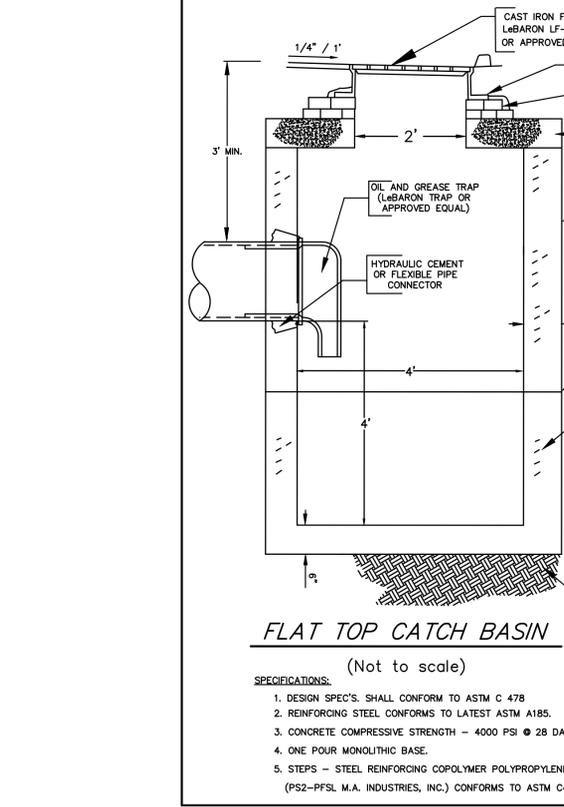
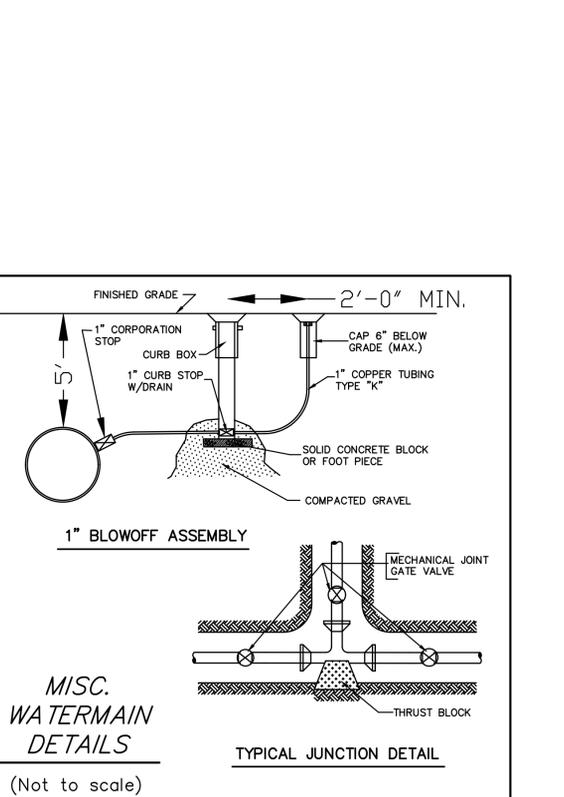
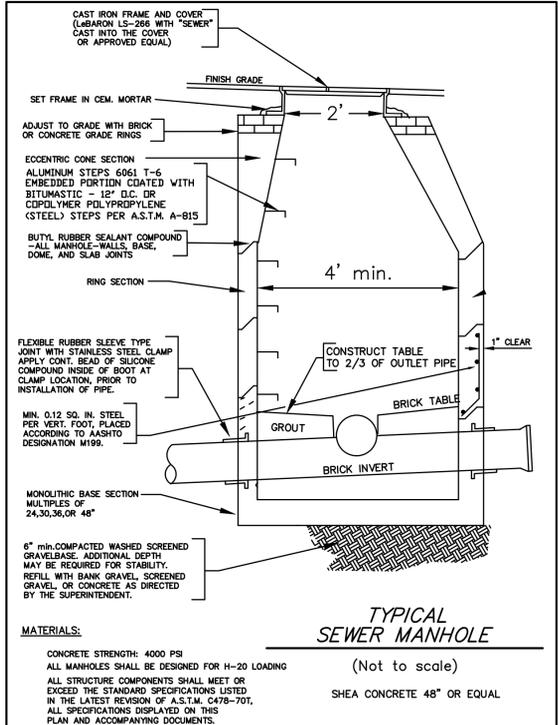
RAIN GARDEN BIORETENTION - SECTION
N.T.S.



RESERVED FOR REGISTRY USE

AMESBURY PLANNING BOARD

APPROVAL UNDER SUBDIVISION CONTROL LAWS IS REQUIRED.



DATE:

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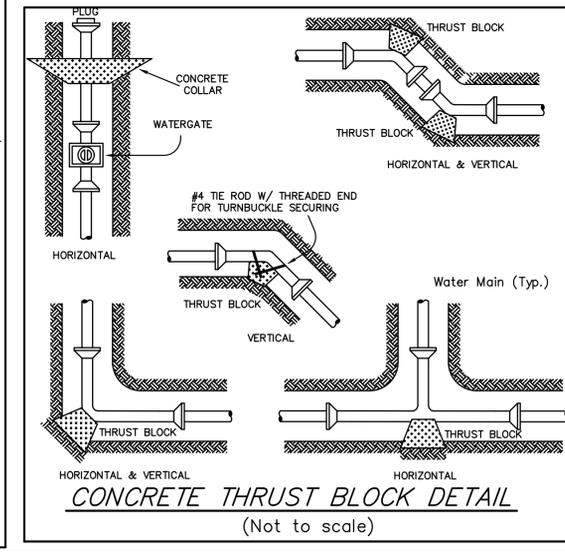
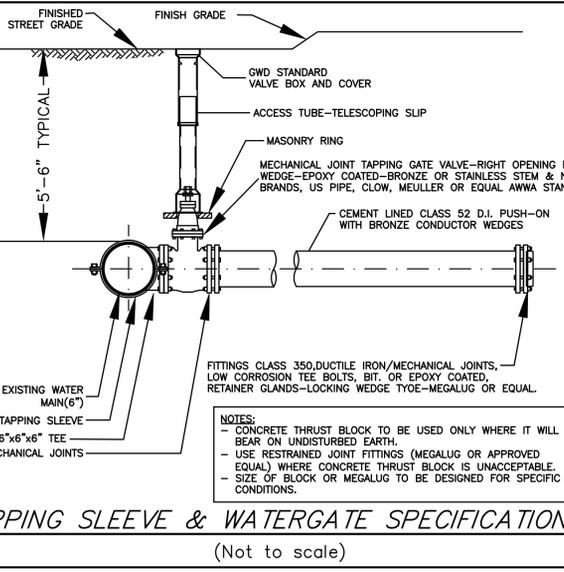
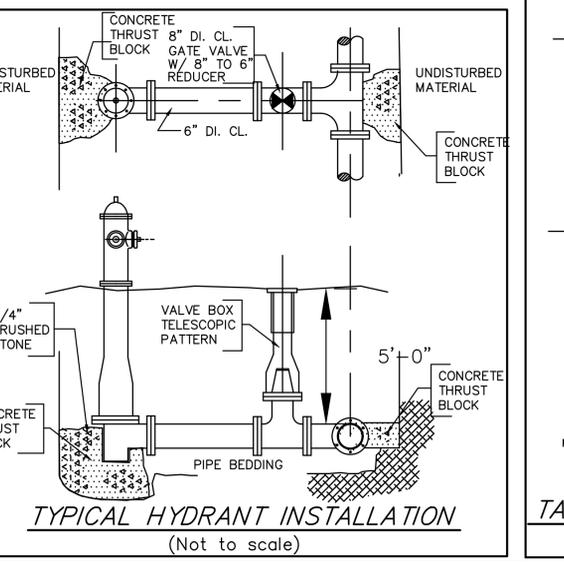
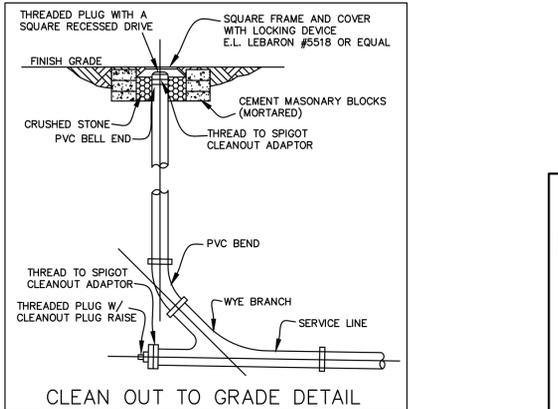
A COPY OF WHICH IS RECORDED HEREWITH AND SUBJECT ALSO TO RECORDING OF THIS PLAN AND SAID DECISION IN THE SOUTH ESSEX REGISTRY OF DEEDS ON OR BEFORE _____

CLERK CERTIFICATION

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DEFINITIVE SUBDIVISION OF LAND AT 47.5-57 KIMBALL ROAD IN AMESBURY, MASSACHUSETTS

DETAILS

PREPARED FOR: BC REALTY TRUST
64 SCHOOL STREET
MERRIMAC, MASSACHUSETTS

ENGINEER:
ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC.
97 TENNEY STREET - GEORGETOWN, MA 01833
PHONE: 978-352-7870 FAX: 978-352-9940

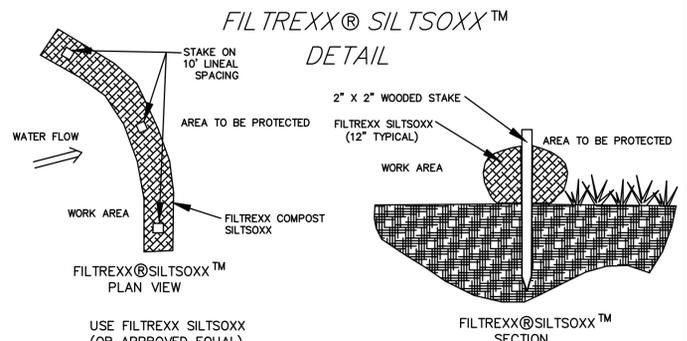
DRAWING FILE: \SEQ92\KIMBALL-2014-CRSP.DWG

JOB NO. A1103-04 DATE: JAN. 20, 2015

REVISIONS:
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AS NOTED

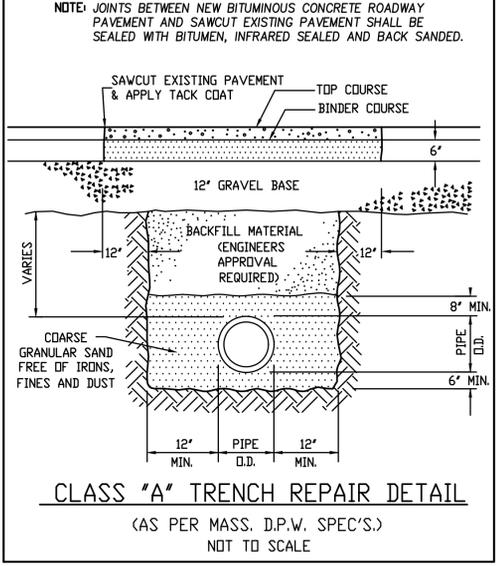
SHEET 12 OF 14



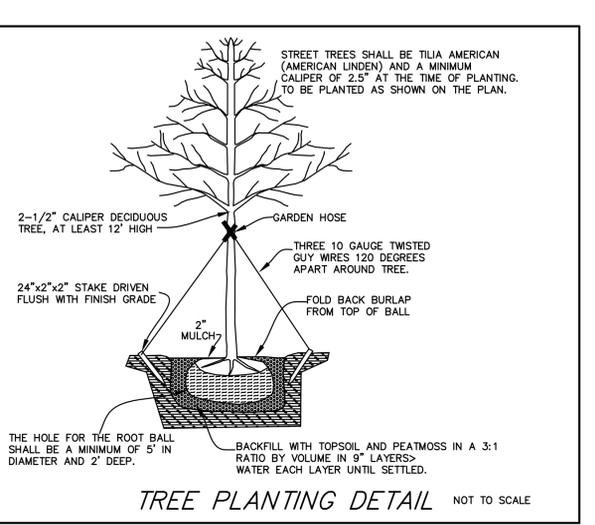
USE FIL TREXX SILT SOXX (OR APPROVED EQUAL), AVAILABLE THROUGH PROBARK, INC. PHONE: 978-352-7543 WEBSITE: WWW.PROBARK.COM

SILTATION BARRIER
N.T.S.

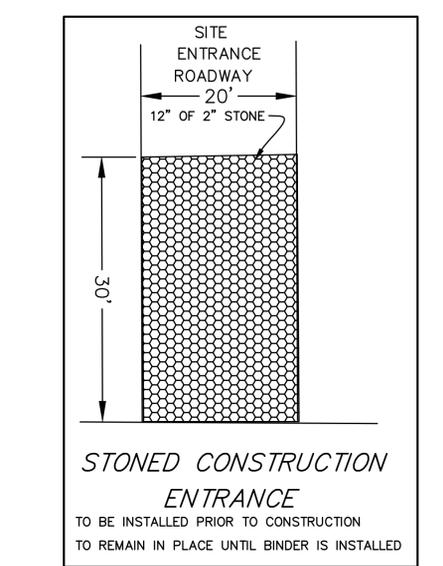
- EROSION CONTROL MEASURES**
- SILT FENCE TO BE INSTALLED IN ACCORDANCE WITH THIS PLAN PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDED OR COVERED WITH OTHER SUITABLE GROUND COVER UPON COMPLETION OF CONSTRUCTION.
 - SILT FENCE IS TO REMAIN IN PLACE UNTIL VIGOROUS GROUND COVER HAS BEEN ESTABLISHED.
 - ALL EROSION CONTROL FENCES SHALL BE MAINTAINED ON A WEEKLY BASIS AND ANY DEBRIS AND/OR SEDIMENT SHALL BE REMOVED FROM THE SITE.
 - ADDITIONAL SILTATION FENCES SHALL BE ON-SITE TO REPLACE ANY AREAS OF FENCE DISTURBED OR REQUIRING REPAIR DURING CONSTRUCTION.
 - ALL STOCKPILING OF MATERIAL OR ANY OTHER EXPOSED MATERIALS OPEN TO THE ELEMENTS SHALL BE STABILIZED AND/OR COVERED WITHIN 2 DAYS.



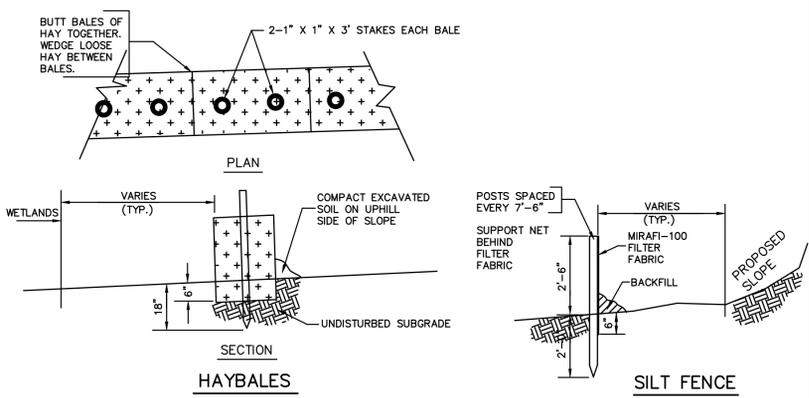
CLASS "A" TRENCH REPAIR DETAIL
(AS PER MASS. D.P.W. SPEC'S.)
NOT TO SCALE



TREE PLANTING DETAIL
NOT TO SCALE

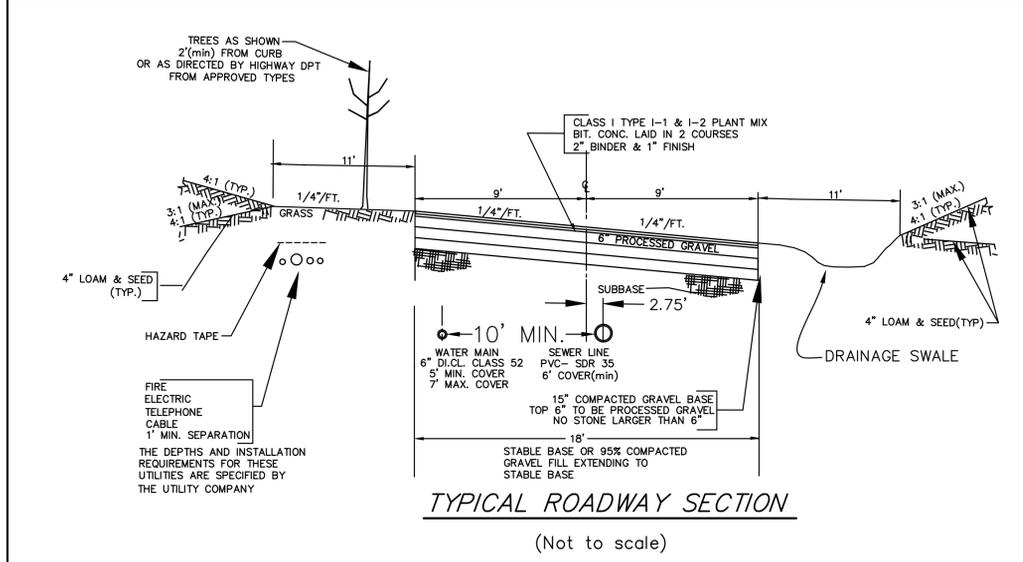


STONED CONSTRUCTION ENTRANCE
TO BE INSTALLED PRIOR TO CONSTRUCTION
TO REMAIN IN PLACE UNTIL BINDER IS INSTALLED

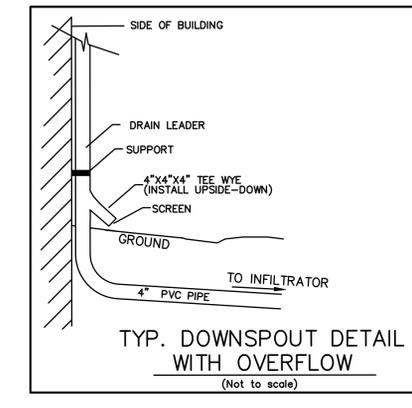


SILTATION BARRIERS
(Not to scale)

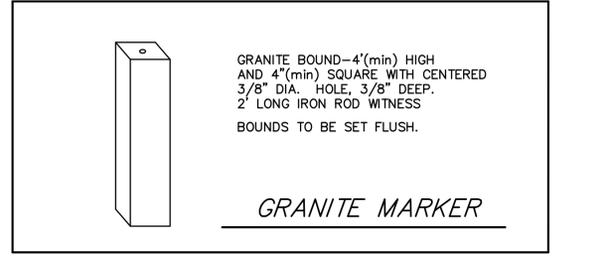
- EROSION CONTROL MEASURES**
- SILT FENCE TO BE INSTALLED IN ACCORDANCE WITH THIS PLAN PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ALL DISTURBED AREAS ARE TO BE LOAMED AND SEEDED OR COVERED WITH OTHER SUITABLE GROUND COVER UPON COMPLETION OF CONSTRUCTION.
 - SILT FENCE IS TO REMAIN IN PLACE UNTIL VIGOROUS GROUND COVER HAS BEEN ESTABLISHED.
 - ALL EROSION CONTROL FENCES SHALL BE MAINTAINED ON A WEEKLY BASIS AND ANY DEBRIS AND/OR SEDIMENT SHALL BE REMOVED FROM THE SITE.
 - ADDITIONAL SILTATION FENCES AND HAYBALES SHALL BE ON-SITE TO REPLACE ANY AREAS OF FENCE DISTURBED OR REQUIRING REPAIR DURING CONSTRUCTION.
 - ALL STOCKPILING OF MATERIAL OR ANY OTHER EXPOSED MATERIALS OPEN TO THE ELEMENTS SHALL BE STABILIZED AND/OR COVERED WITHIN 2 DAYS.



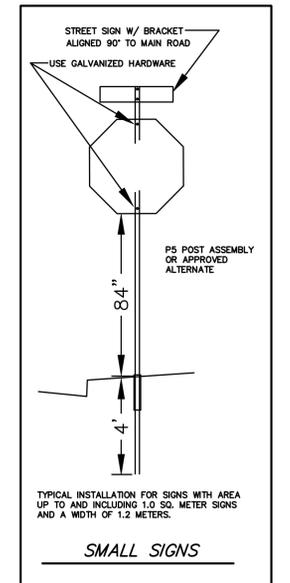
TYPICAL ROADWAY SECTION
(Not to scale)



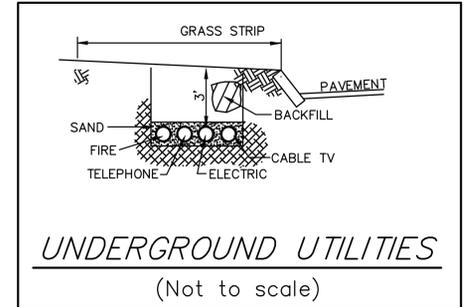
TYP. DOWNSPOUT DETAIL WITH OVERFLOW
(Not to scale)



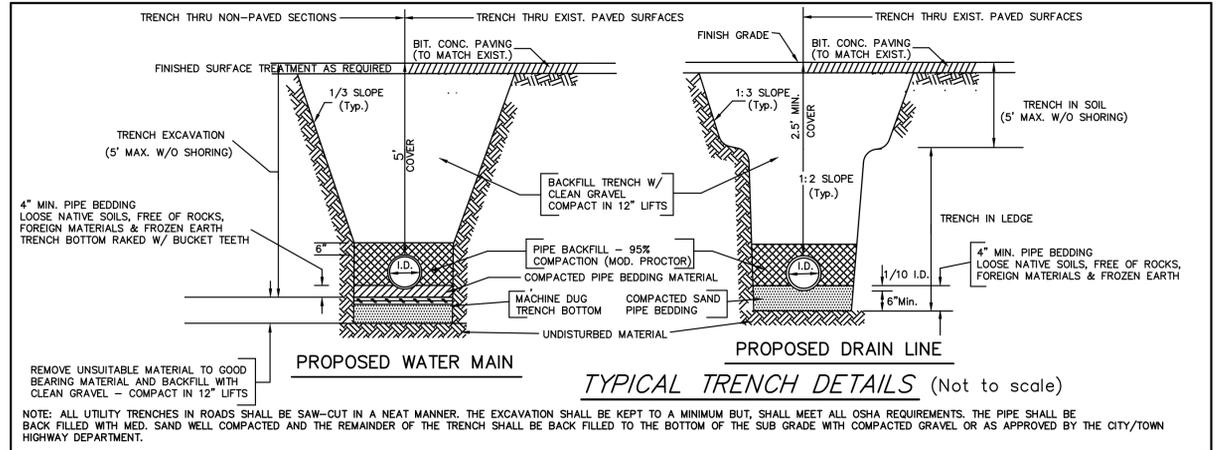
GRANITE MARKER



SMALL SIGNS



UNDERGROUND UTILITIES
(Not to scale)



TYPICAL TRENCH DETAILS (Not to scale)

RESERVED FOR REGISTRY USE

AMESBURY PLANNING BOARD
APPROVAL UNDER SUBDIVISION CONTROL LAWS IS REQUIRED.

DATE: _____

APPROVED DEFINITIVE SUBDIVISION/SPECIAL PERMIT SUBJECT TO TERMS AND CONDITIONS STATED IN A "MEMORANDUM OF DECISION" DATED _____ BETWEEN THE AMESBURY PLANNING BOARD, ON BEHALF OF THE CITY OF AMESBURY, AND _____

A COPY OF WHICH IS RECORDED HERewith AND SUBJECT ALSO TO RECORDING OF THIS PLAN AND SAID DECISION IN THE SOUTH ESSEX REGISTRY OF DEEDS ON OR BEFORE _____

CLERK CERTIFICATION

I, THE CLERK OF THE CITY OF AMESBURY, MA DO HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE ON _____ AND THAT UNDER M.G.L. CH.41, SEC. 81X NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

CITY CLERK _____ DATE _____

I CERTIFY THAT THIS PLAN IS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS. I FURTHER CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION AND THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF IT CONFORMS WITH THE TECHNICAL, ETHICAL AND PROCEDURAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE COMMONWEALTH OF MASSACHUSETTS.

[Signature]

DEFINITIVE SUBDIVISION OF LAND
AT
47.5-57 KIMBALL ROAD
IN
AMESBURY, MASSACHUSETTS

DETAILS

PREPARED FOR: BC REALTY TRUST
64 SCHOOL STREET
MERRIMAC, MASSACHUSETTS

ENGINEER:
ATLANTIC ENGINEERING & SURVEY CONSULTANTS INC.
97 TENNEY STREET - GEORGETOWN, MA 01833
PHONE: 978-352-7870 FAX: 978-352-9940

DRAWING FILE: \SEQ92\2KIMBALL-2014-CRSP.DWG

JOB NO. A1103-04 DATE: JAN. 20, 2015

REVISIONS:
#1
#2
#3

AS NOTED

SHEET 13 OF 14

SITE MANAGEMENT NOTES

BEST MANAGEMENT PRACTICES (BMP'S) FOR EROSION AND SEDIMENTATION CONTROL

GENERAL

The BMP's to be used during project construction are to prevent the generation of erosion products and their transport to environmentally and off-site sensitive areas. Environmentally and off-site sensitive areas include all designated resource areas, those areas of the site that do not need to be altered for development purposes, the designated perimeter buffer zones and all off-site abutting properties and roadways.

The primary BMP is to maintain an organized, smooth flowing and rapid Construction Sequence as outlined. Coupled with the continuous monitoring of TEC devices and their integrity, this rapid construction process should result in prompt stabilization of surfaces thereby reducing erosion potential. The Contractor is responsible to maintain the Construction Sequence subject to seasonal, atmospheric and site specific physical constraints.

A second important BMP is the prevention of concentrated water flow. Sheet flow does not demonstrate the erosive potential of concentrated channels. The Contractor is therefore encouraged to apply construction methods which will promote sheet flow with concentrated shallow channel flow paths only as necessary.

The Contractor shall be solely responsible for erosion and sedimentation control on site. The Contractor shall use a method of operation and construction and all necessary erosion and sedimentation control measures even if not specified herein or on the plans, to minimize erosion damage on and off site. The BMP's to follow should be used as a guide for erosion and sedimentation control and do not replace the practice of good judgement, common sense and thoughtful environmentally sensitive construction practices.

CONSTRUCTION SITE MANAGEMENT

GENERAL

In addition to the storm water management and erosion control methods discussed above, responsible construction site management is required to minimize the transport of sediment and non-sediment related pollutants from entering storm water runoff.

EQUIPMENT AND VEHICLE MANAGEMENT

MAINTENANCE

Specific areas shall be designated for equipment and vehicle maintenance and repair. Maintenance areas shall include appropriate waste receptacles for spent gasoline, oil, grease, and solvents.

WASHDOWN

Specific areas shall be designated for equipment and vehicle washdown. Washdown areas shall be located on sections of the site that drain to regularly maintained sediment and non-sediment pollution control devices designed to accommodate such discharges.

DUST AND MUD CONTROL

The contractor shall provide positive controls to minimize raising dust from construction activities on this site. All dust and mud control measures shall be as approved by the town.

The contractor shall provide daily positive controls to prevent mud and dirt from leaving the site on equipment tires. The stone construction apron shall be used by all vehicles and shall be maintained or replaced in kind to prevent mud accumulation off the site.

MATERIAL STORAGE AND USE

PESTICIDES

Pesticides shall be stored in a dry area that is protected from precipitation. Pesticides shall be handled as infrequently as possible. The manufacturers' recommendations as well as all applicable local, State, and federal regulations shall be strictly followed when pesticides are handled.

FERTILIZERS

Application of fertilizer shall be limited to minimum required area and amount. More frequent, lower applications are preferable to infrequent high application rates. After application, fertilizer shall be worked into the soil where feasible.

PETROLEUM PRODUCTS

Fueling vehicles and petroleum products including oil, gasoline, lubricants, and asphaltic materials shall be stored in covered areas where feasible. Routinely maintain on-site equipment and vehicles to prevent leakage of gas, oil or lubricants.

HAZARDOUS MATERIALS

Hazardous materials include but are not limited to paints, acids, solvents, soil stabilization chemicals, concrete admixtures and other materials that have been mixed with hazardous substances. All hazardous materials shall be stored in a dry area protected from precipitation. The manufacturers' recommendations as well as all applicable local, State, and federal regulations shall be strictly followed when hazardous materials are handled, transported, applied, or disposed of.

RAW MATERIALS

Storage areas for raw materials used in construction that can be carried by storm water runoff shall be located only in areas which drain to retention-type sedimentation control devices.

WASTE DISPOSAL

CONSTRUCTION WASTE

Construction waste may include but is not limited to trees, stumps, shrubs, scrap or surplus building materials, demolition material, and packaging material. Designated waste collection areas shall be established at locations convenient to site workers. Receptacles shall be of adequate capacity to hold waste accumulated between collection times. Receptacles shall be covered or otherwise protected from precipitation.

WASTE CONCRETE

Excess concrete and washwater from concrete trucks shall be disposed of in a manner that prevents contact between these materials and storm water that shall be used to contain waste concrete and washwater until it hardens and can be properly disposed of.

SANITARY FACILITIES

Temporary sanitary facilities shall be provided on-site in convenient locations to site workers. Sanitary facilities shall be adequately maintained to prevent contact between associated wastes and storm water runoff.

BMP'S POST-CONSTRUCTION

STORM WATER DETENTION AREA

Any accumulation of the products of erosion which have collected in the basin and forebay after construction is complete and basin side slopes are fully stabilized shall be removed.

DRAINAGE SWALES

After construction is complete and all slopes are stabilized by the full establishment of vegetative cover, all swales are to be periodically inspected and any accumulation of sedimentation is to be removed.

SUGGESTED SEEDING MIXTURE AND APPLICATION RATE

The seed bed should be prepared by conducting a soils test and fertilizing as required. When a soils test is not available, the following minimum amount should be applied:

Limestone 2 tons per acre.
Nitrogen (N) 40 lb. per acre or 1 lb. per 1000 square feet.
Phosphate (P2O5) 80 lb. per acre or 2 lb. per 1000 square feet.
Pot Ash (K2O) 80 lb. per acre or 2 lb. per 1000 square feet.

The following seed mix (State Slope Mix) shall be applied at the rate of 200 lb. per acre:

50% Creeping Red Fescue 5% Red Top
30% Kentucky Tall Fescue 5% Lindino Clover
10% Annual Rye

BMP'S DURING CONSTRUCTION

CUTTING AND CLEARING

Vehicles used in the wood clearing process shall not travel through running water. As the clearing process continues, the movement of vehicles shall be limited, as much as possible, to the area of development.

Trees shall be felled directly down or up slope to prevent the diversion and concentration of storm water runoff around the trunks.

Wheel ruts shall be filled in and graded to prevent concentration of storm water runoff.

Vehicle tracks leading downhill shall be blocked during periods of intense precipitation by haybales, dikes or silt fences which shall be constructed to entrap the sediment. All timber and cord wood shall be used for its value; consideration shall be given to chipping of brush and branches that generate wood chip mulch for the use in stabilization of disturbed surfaces. No spoil (e.g., tree stumps) shall be disposed of by burying.

GRUBBING, STRIPPING AND GRADING

Erosion control devices shall be in place as shown on the design plans before grading commences. As much topsoil as possible shall be reclaimed for on-site use.

No topsoil shall leave the site without permission of local authorities. Striping shall be done in a manner which will not concentrate runoff. If precipitation is expected, earthen berms shall be constructed around the area being stripped, with a silt fence or haybale dike located in an arc at the low point of the berm.

If intense precipitation is anticipated, haybales, dikes and/or silt fences shall be used as required to prevent erosion and sediment transport. The materials required shall be stored on site at all times. If water is required for soils compaction, it shall be added in a uniform manner that does not allow excess water to flow off the area being compacted.

Dust should be held at a minimum by sprinkling exposed soil with an appropriate amount of water.

MAINTENANCE OF DISTURBED SURFACES

Runoff shall be diverted from disturbed side slopes in both cut and fill.

Mulching may be used for temporary stabilization. Haybale dikes or silt fences shall be set where required to trap products of erosion and shall be maintained on a continuing basis during the construction process.

LOAMING

Loaming and seeding of slopes shall be an ongoing construction process and is not limited to any one phase of construction.

Loam shall not be placed unless it is to be seeded directly thereafter. All disturbed areas shall have a minimum of 4" of loam placed before being seeded and mulched. Consideration should be given to hydro-mulching, especially on slopes in excess of 3 to 1.

Loamed and seeded slopes shall be protected from washout by mulching or other acceptable slope protection until vegetation beings to grow.

STORM WATER COLLECTION SYSTEM INSTALLATION

The storm water drainage system shall be installed in a manner which will not allow run-off from disturbed areas to enter pipes.

Outlet rip-rap shall be placed immediately upon the installation of the associated pipe. Areas in the vicinity of outfalls shall be stabilized with vegetation.

Excavations for the drainage system shall not be left open when rainfall is expected overnight. If left open under other circumstances, pipe ends should be closed by a staked board or by an equivalent method.

All catch basin openings shall be covered by filter fabric placed between the grate and the frame and protected from heavy sediment by staked haybales surrounding the catch basin grate.

COMPLETION OF PAVED AREAS

During the placement of subbase and pavement, the entrances to the storm water drainage system shall be sealed if rain is expected. When these entrances are closed, consideration must be given to the direction of runoff and measures shall be undertaken to minimize erosion and to provide for the collection of sediment.

In some situations it may be necessary to keep catch basins open. Appropriate arrangements shall be made downstream to remove all sediment deposition.

STABILIZATION OF SURFACES

Stabilization of surfaces shall be an ongoing process.

Stabilization of surfaces includes the placement of pavement, rip rap, wood bark mulch and the establishment of vegetated surfaces.

Upon the completion of construction, all surfaces shall be stabilized even though it is apparent that future construction efforts will cause their disturbance.

Vegetated cover shall be established during the proper growing season and should be enhanced by soils adjustment for proper pH, nutrients and moisture content.

Surfaces that are disturbed by erosion processes, vandalism or by construction shall be stabilized as soon as possible.

Mulch-mulching of grass surfaces is recommended, especially if seeding of the surfaces is required outside the normal growing season.

Hay mulch, if used, must be properly secured.

Seed should be spread uniformly by the method most appropriate for the site. Methods include broadcasting, drilling and hydro-seeding. Hydro-seeding is the preferred method of seeding. The soil should be rolled or packed after seeding if possible. All legumes (Crown Vetch, Birdsfoot Trefoil and Clovers) must be inoculated.

Once seeded areas have been mulched, plantings may be placed from early spring to late October. If seeded areas are not mulched, planting should be made from early spring to June 20th or between August 1st and September 15th. Plantings made after mid-November must be mulched.

If required, hay, straw or other mulch should be applied immediately after seeding. For hydro-seeding, a heavy mulch tackifier at the rate of 1500 lb. per acre shall be applied. Planted areas should be protected from damage. Fertilization requirements during the establishment period may be determined by on-site inspections.

POST-CONSTRUCTION

Operation/Maintenance Plan

MAINTENANCE OF ALL ROADS AND ON-SITE DRAINAGE SYSTEMS AT THE SITE SHALL BE THE RESPONSIBILITY OF PROPERTY OWNER. THE IMPLEMENTATION OF THE FOLLOWING MAINTENANCE PROGRAM IS INTENDED TO ADEQUATELY MANAGE SEDIMENT INFILTRATION TO THE STORM WATER DRAINAGE SYSTEM. HOWEVER, IT IS UNDERSTOOD THAT THE LOCAL APPROVING AUTHORITY RESERVES THE RIGHT TO CONSIDER SITE CONDITIONS AND USES ON AN INDIVIDUAL BASIS FOR UNIQUE CIRCUMSTANCES THAT MAY REQUIRE ADDITIONAL PROTECTIONS.

- ALL ROADS SHALL BE SWEEPED YEARLY, BETWEEN APRIL 15TH AND MAY 30TH. ALL SAND AND DEBRIS SHALL BE PROPERLY DISPOSED.
- IN THE EVENT THAT ANY ROAD AT THE SITE EXPERIENCES A CHEMICAL RELEASE EQUAL TO OR GREATER THAN FIVE GALLONS, THE PROPERTY OWNERS SHALL IMMEDIATELY REMEDIATE THE SPILL, AND NOTIFY THE LOCAL BOARD OF HEALTH.
- THE ON-SITE DRAINAGE SYSTEMS CONSISTING OF ALL CATCH BASINS AND STORM WATER DRAINAGE STRUCTURES AT THE SITE SHALL BE INSPECTED, AT MINIMUM, 2 TIMES PER YEAR, AND CLEANED AND MAINTAINED AS NEEDED, BUT NOT LESS FREQUENTLY THAN TWO TIMES PER YEAR.
- PRIOR TO CLEANING CATCH BASINS, SAME SHALL BE INSPECTED FOR THE PRESENCE OF HYDROCARBONS AND ANY FOUND TO BE PRESENT SHALL BE REMOVED BY A LICENSED CONTRACTOR.
- CLEANING OF CATCH BASINS SHALL INCLUDE THE REMOVAL, AND PROPER DISPOSAL, OF ALL SAND AND DEBRIS FROM THE SUMPS.

CONSTRUCTION SEQUENCE

GENERAL

This construction sequence provides the Contractor with an order of construction that will minimize erosion and the transport of sediments. The individual objectives of the construction process described herein shall be considered an integral component of the project design intent for each project phase. The construction sequence is not intended to prescribe definitive construction methods and shall not be interpreted as a construction specification document. The contractor shall use the construction sequence and techniques as a general guide and shall modify the suggested methods and procedures as required to best suit seasonal, atmospheric, and site specific physical constraints for the purpose of minimizing the environmental impact of construction.

SITE ACCESS

Construction site access will be confined to proposed roadway entrances at the Access Way.

The contractor shall install a 20' x 30' stone (2" to 3") construction apron at the Construction Site entrance.

INSTALLATION OF TEMPORARY EROSION CONTROL (TEC) DEVICES

Install TEC devices as shown on the plans and/or as otherwise required or deemed necessary by the Engineer and/or Municipal Inspector. If necessary, selectively cut and clear an area for the TEC devices. In general, use of existing trees to back haybales and silt fence is encouraged.

CUTTING AND CLEARING

Clear and cut only trees that are within the limits of the construction of project side slopes, drainage and paved areas. Logged timber shall be removed from the site. Tree bases and slash shall be ground and chipped and stockpiled on site for use as temporary erosion control as well as for mulch to stabilize slopes and other exposed areas. No tree bases shall be buried on site. All remaining tree bases and slash shall be removed from the site. All exposed surfaces that will not be under immediate construction shall be stabilized.

GRUBBING AND STRIPING

Inspect positioning and condition of TEC devices to assure integrity and purpose. Adjust and supplement TEC devices as necessary to assure prevention of sediment transport. Remove balance of slash and stumps from site. Consideration should be given to additional grinding and chipping for creation of mulch and chips for slope stabilization. Remove all brush, scrub and roots. Remove some from site. Remove and stockpile all topsoil upslope of TEC. Provide a solid secure ring of haybales around the lower portion and sides of the stockpile leaving the upper side open to work from. Stabilize all exposed surfaces that will not be under immediate construction.

PROJECT ROUGH GRADING

Inspect positioning and condition of TEC devices to assure integrity and purpose. Adjust and supplement TEC devices as necessary to assure prevention of sediment transport. Perform cut and fill earthwork for project construction to rough subgrade. Remove all excess and unusable material from the site as soon as practicable. Stockpile excess material to be used in

Provide a solid secure ring of haybales around the lower portion and sides of the stockpile leaving the upper side open to work from. Stabilize all exposed surfaces that will not be under immediate construction. Dress paved areas to finished level subgrade. Install stone subbase in compacted lifts. Apply water as necessary to achieve proper compaction and to control air suspension of dust.

UTILITY INSTALLATION

Inspect positioning and condition of TEC devices to assure integrity and purpose. Adjust and supplement TEC devices as necessary to assure prevention of sediment transport. Install waterlines and other water appurtenances. Complete the installation of the drainage system. Install manhole and catch basin frames, covers and grates per plan. The catch basins should be set with a temporary grate setting at a grade that will allow them to receive ponded run-off. Install temporary erosion berm and sediment receiving area around the catch basins as shown on the plans.

PAVEMENT BASE COURSE CONSTRUCTION

Fine grade and compact stone subbase to design grades. Install pavement base course. Upon completion of base course, restore hay bale rings around catch basins receiving run-off. Maintain same.

CURB AND SIDEWALK CONSTRUCTION

Install bit. conc. berm as shown on plan. Install curb cuts for drive way and handicap ramp. Prepare finished subgrade and gravel subbase and install pavement for sidewalks.

FINISHED SLOPE CONSTRUCTION, FINISHED GRADING, SLOPE STABILIZATION, TOPSOIL AND SEEDING

Inspect positioning and condition of TEC devices to assure integrity and purpose. Adjust and supplement TEC devices as necessary to assure prevention of sediment transport. Complete all finished grading and slope construction including all grass and rip-rap slopes. Apply loam and seed and stabilize all exposed surface areas and slopes.

DRAINAGE SYSTEM

Install remainder of drainage system making final adjustments as necessary for all manhole and catch basin frames, lids and grates. Clean and remove any sediment from all catch basins and drain manholes. Install all hoods and grease traps in catch basins. Complete all poured/formed inverts through drain manholes. Install all steps as required.

UTILITY SYSTEM COMPLETION

Install all utility system appurtenances.

FINISHED PAVING

Inspect positioning and condition of TEC devices to assure integrity and purpose. Adjust and supplement TEC devices as necessary to assure prevention of sediment transport. Repair any damaged side slopes, curbs, other. Adjust all main and service appurtenance features to finished grade. Adjust any drainage structures as necessary to finished grade. Install finish surface course of paving.

FINAL CLEAN-UP

Clean inverts of culverts and catch basins. Remove sediment and debris from site. Repair side slopes as necessary. Remove all construction debris from site. Remove all TEC devices in areas where permanent vegetation and erosion control has been established. Secure and supplement TEC devices in areas where permanent vegetation and erosion control has yet to be established. Install signs and pavement markings as applicable. Install plantings, supplement finished loam and seeding as required.

RESERVED FOR REGISTRY USE

AMESBURY PLANNING BOARD

APPROVAL UNDER SUBDIVISION CONTROL LAWS IS REQUIRED.

DATE:

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DEFINITIVE

SUBDIVISION OF LAND

AT
47.5-57 KIMBALL ROAD
IN
AMESBURY, MASSACHUSETTS

SITE MANAGEMENT

PREPARED FOR: BC REALTY TRUST
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MERRIMAC, MASSACHUSETTS

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