

SITE DEVELOPMENT PLANS

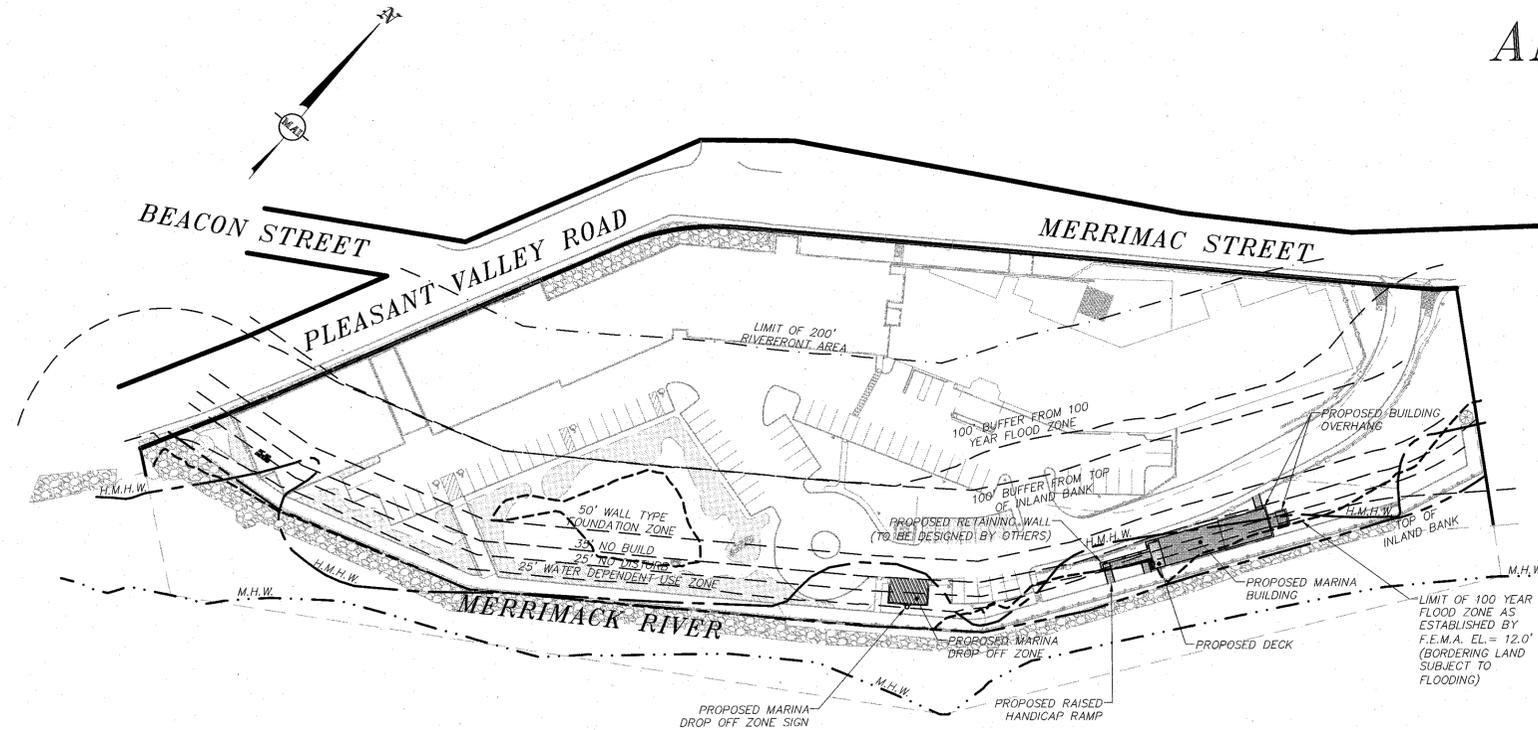
MAP: 99 LOT: 23

THE MARINA AT HATTER'S POINT

LOCATED IN

AMESBURY, MASSACHUSETTS

DATE: AUGUST 24, 2015



OWNER:

HATTER'S POINT CONDOMINIUM ASSOCIATION
C/O TIGER PROPERTY SERVICES, LLC
60 MERRIMAC STREET
AMESBURY, MASSACHUSETTS 01913

APPLICANT:

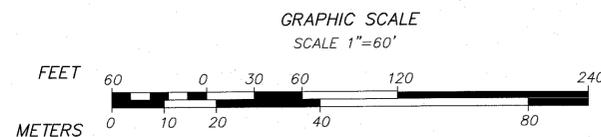
HATTER'S POINT MARINA PARKING, LLC
15 EVANS PLACE
AMESBURY, MASSACHUSETTS 01913

PREPARED BY:

MERIDIAN ASSOCIATES
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915
69 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (978) 299-0447 TELEPHONE: (508) 871-7030
WWW.MERIDIANASSOC.COM

DRAWING INDEX

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AMESBURY PLANNING BOARD APPROVAL

DATE



DEMOLITION NOTES:

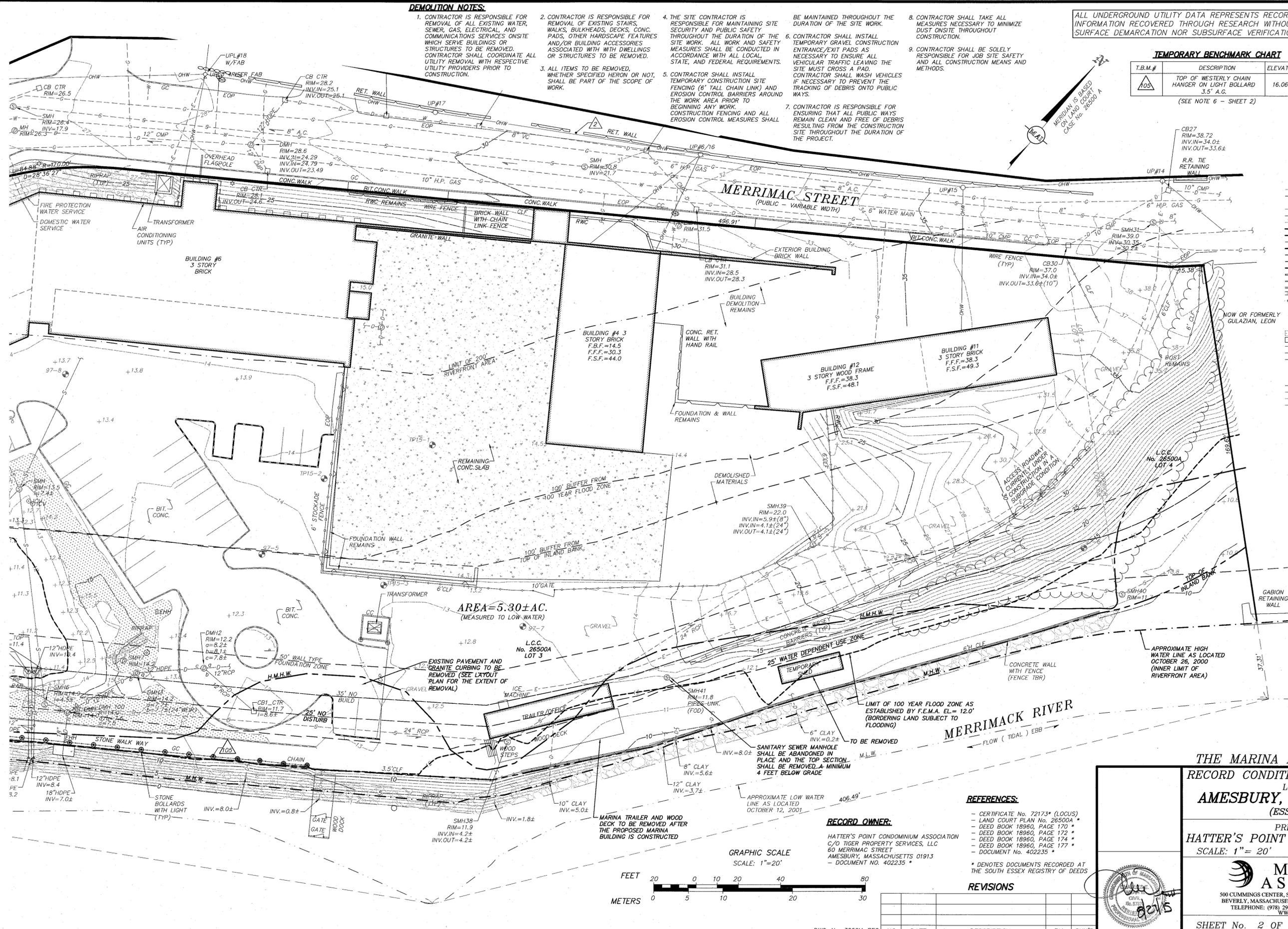
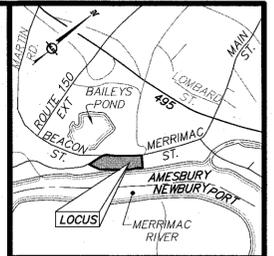
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EXISTING WATER, SEWER, GAS, ELECTRICAL, AND COMMUNICATIONS SERVICES ON SITE WHICH SERVE BUILDINGS OR STRUCTURES TO BE REMOVED. CONTRACTOR SHALL COORDINATE ALL UTILITY REMOVAL WITH RESPECTIVE UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF EXISTING STAIRS, WALKS, BULKHEADS, DECKS, CONC. PADS, OTHER HARDSCAPE FEATURES AND/OR BUILDING ACCESSORIES ASSOCIATED WITH DWELLINGS OR STRUCTURES TO BE REMOVED.
- ALL ITEMS TO BE REMOVED, WHETHER SPECIFIED HEREON OR NOT, SHALL BE PART OF THE SCOPE OF WORK.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SITE SECURITY AND PUBLIC SAFETY THROUGHOUT THE DURATION OF THE SITE WORK. ALL WORK AND SAFETY MEASURES SHALL BE CONDUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
- CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION SITE FENCING (6' TALL CHAIN LINK) AND EROSION CONTROL BARRIERS AROUND THE WORK AREA PRIOR TO BEGINNING ANY WORK. CONSTRUCTION FENCING AND ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE SITE WORK.
- CONTRACTOR SHALL INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT PADS AS NECESSARY TO ENSURE ALL VEHICULAR TRAFFIC LEAVING THE SITE MUST CROSS A PAD. CONTRACTOR SHALL WASH VEHICLES IF NECESSARY TO PREVENT THE TRACKING OF DEBRIS ONTO PUBLIC WAYS.
- CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PUBLIC WAYS REMAIN CLEAN AND FREE OF DEBRIS RESULTING FROM THE CONSTRUCTION SITE THROUGHOUT THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE DUST ON SITE THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATON NOR SUBSURFACE VERIFICATION.

TEMPORARY BENCHMARK CHART

T.B.M.#	DESCRIPTION	ELEVATION
105	TOP OF WESTERLY CHAIN HANGER ON LIGHT BOLLARD 3.5' A.G.	16.06'

(SEE NOTE 6 - SHEET 2)



- LEGEND**
- 19 ONE FOOT CONTOUR
 - 20 FIVE FOOT CONTOUR
 - +19.6 SPOT ELEVATION
 - STOCKADE FENCE
 - CHAINLINK FENCE
 - WIRE FENCE
 - H.M.H.W. HISTORIC MEAN HIGH WATER
 - M.H.W. MEAN HIGH WATER
 - M.L.W. MEAN LOW WATER
 - TOP OF COASTAL BANK
 - BUFFER FROM COASTAL BANK
 - RIVERFRONT AREA
 - 100 YEAR FLOOD ZONE (EL. 12)
 - CONCRETE CURB
 - GRANITE CURB
 - BITUMINOUS BERM
 - STONE RETAINING WALL
 - STONE WALL
 - SIGN
 - BOLLARD WITH LIGHT
 - RIPRAP
 - LANDSCAPING
 - CONCRETE
 - DRAIN LINE
 - SEWER LINE
 - POST
 - OVERHEAD WIRES
 - GUY WIRE
 - TERMINUS UNKNOWN
 - FLARED END/INVERT
 - COMPILED SEWER LINE
 - COMPILED DRAIN LINE
 - COMPILED WATER MAIN
 - COMPILED GAS LINE
 - SEWER MANHOLE
 - DRAIN MANHOLE
 - CATCH BASIN
 - MANHOLE
 - WATER SERVICE
 - HYDRANT
 - IRRIGATION CONTROL VALVE
 - UTILITY POLE
 - UTILITY POLE W/LIGHT
 - TRANSFORMER
 - ELECTRICAL BOX
 - ELECTRIC HAND HOLE
 - GAS GATE/VALVE
 - TYP. TYPICAL
 - S.F. SQUARE FOOT
 - AC. ACRE
 - ELEV. ELEVATION
 - A.G. ABOVE GROUND
 - FBF FINISHED BASEMENT FLOOR
 - FFF FINISHED FIRST FLOOR
 - FSF FINISHED SECOND FLOOR
 - OH OVERHANG
 - RET. RETAINING
 - RWC CONCRETE RETAINING WALL
 - BIT. BITUMINOUS
 - CONC. CONCRETE
 - CC CONCRETE CURB
 - GC GRANITE CURB
 - EOP EDGE OF PAVEMENT
 - LS LANDSCAPING
 - INV. INVERT
 - RCP REINFORCED CONCRETE PIPE
 - HDPE HIGH DENSITY POLYETHYLENE
 - CMP CORRUGATED METAL PIPE
 - A.C. ASBESTOS-CEMENT
 - FOD FULL OF DEBRIS
 - UNK. UNKNOWN
 - H.P. HIGH PRESSURE
 - L.C.C. LAND COURT CASE
 - EBB RECEDING OR OUTGOING TIDE
 - NVP NO VISIBLE PIPES

REFERENCES:

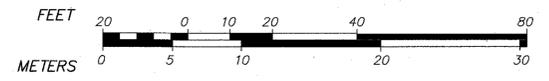
- CERTIFICATE No. 72173* (LOCUS)
- LAND COURT PLAN No. 265004*
- DEED BOOK 18960, PAGE 170*
- DEED BOOK 18960, PAGE 172*
- DEED BOOK 18960, PAGE 174*
- DEED BOOK 18960, PAGE 177*
- DOCUMENT No. 402235*

* DENOTES DOCUMENTS RECORDED AT THE SOUTH ESSEX REGISTRY OF DEEDS

RECORD OWNER:

HATTER'S POINT CONDOMINIUM ASSOCIATION
C/O TIGER PROPERTY SERVICES, LLC
60 MERRIMACK STREET
AMESBURY, MASSACHUSETTS 01913
- DOCUMENT No. 402235 *

GRAPHIC SCALE
SCALE: 1"=20'



DWG. No. 3066M-REC

NO.	DATE	DESCRIPTION	BY	CHK'D

**THE MARINA AT HATTER'S POINT
RECORD CONDITIONS/DEMOLITION PLAN
LOCATED IN
AMESBURY, MASSACHUSETTS
(ESSEX COUNTY)**

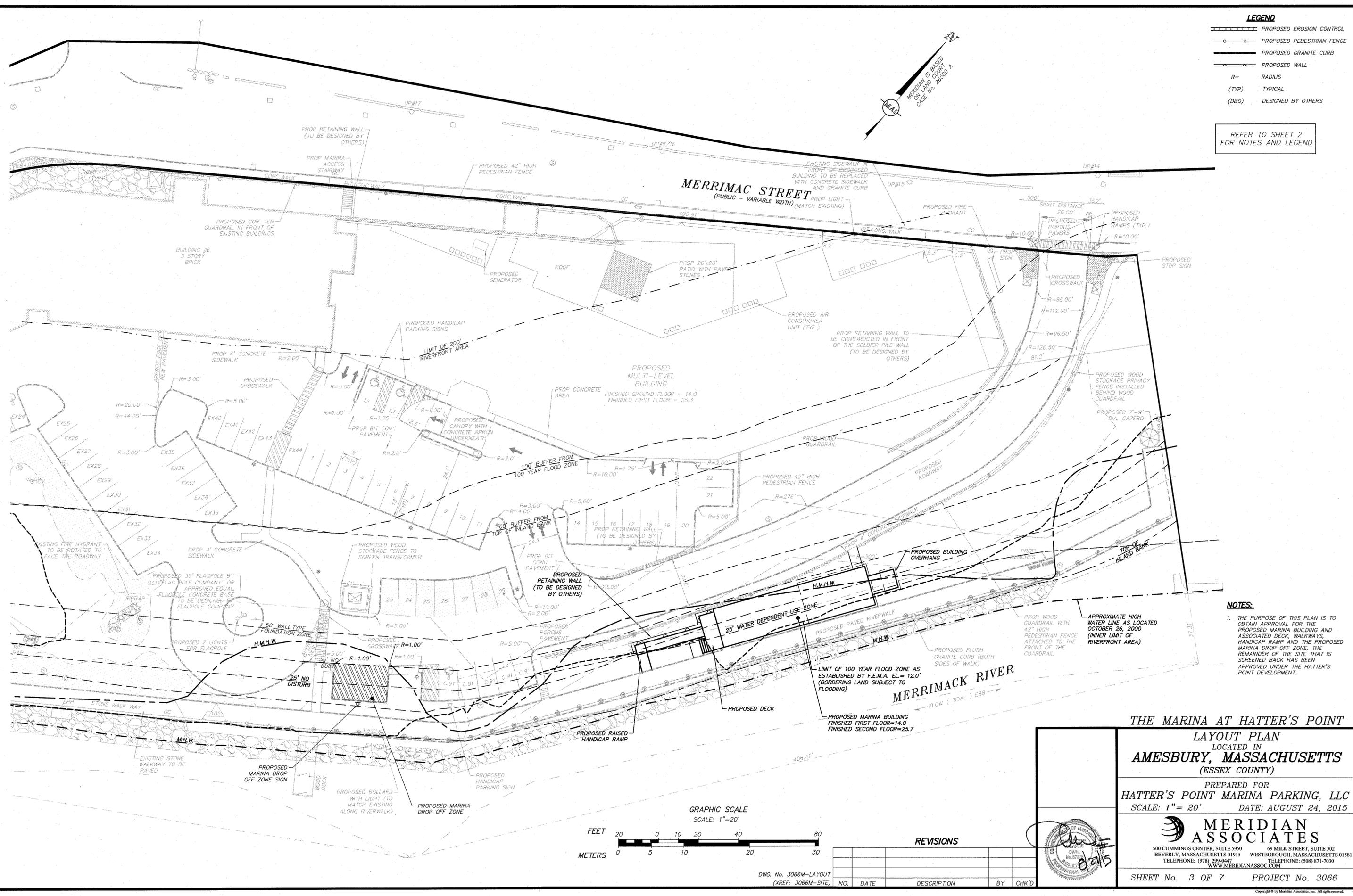
PREPARED FOR
HATTER'S POINT MARINA PARKING, LLC
SCALE: 1"=20' DATE: AUGUST 24, 2015

MERIDIAN ASSOCIATES

500 CUMMINGS CENTER, SUITE 5950 WESTBOROUGH, MASSACHUSETTS 01581
BEVERLY, MASSACHUSETTS 01915
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SHEET No. 2 OF 7 PROJECT No. 3066





- LEGEND**
- PROPOSED EROSION CONTROL
 - PROPOSED PEDESTRIAN FENCE
 - PROPOSED GRANITE CURB
 - PROPOSED WALL
 - R= RADIUS
 - (TYP) TYPICAL
 - (DBO) DESIGNED BY OTHERS

REFER TO SHEET 2 FOR NOTES AND LEGEND

- NOTES:**
- THE PURPOSE OF THIS PLAN IS TO OBTAIN APPROVAL FOR THE PROPOSED MARINA BUILDING AND ASSOCIATED DECK, WALKWAYS, HANDICAP RAMP AND THE PROPOSED MARINA DROP OFF ZONE. THE REMAINDER OF THE SITE THAT IS SCREENED BACK HAS BEEN APPROVED UNDER THE HATTER'S POINT DEVELOPMENT.

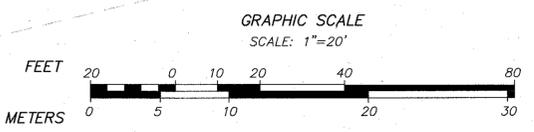
THE MARINA AT HATTER'S POINT
LAYOUT PLAN
 LOCATED IN
AMESBURY, MASSACHUSETTS
 (ESSEX COUNTY)

PREPARED FOR
HATTER'S POINT MARINA PARKING, LLC
 SCALE: 1" = 20' DATE: AUGUST 24, 2015

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SHEET No. 3 OF 7 PROJECT No. 3066

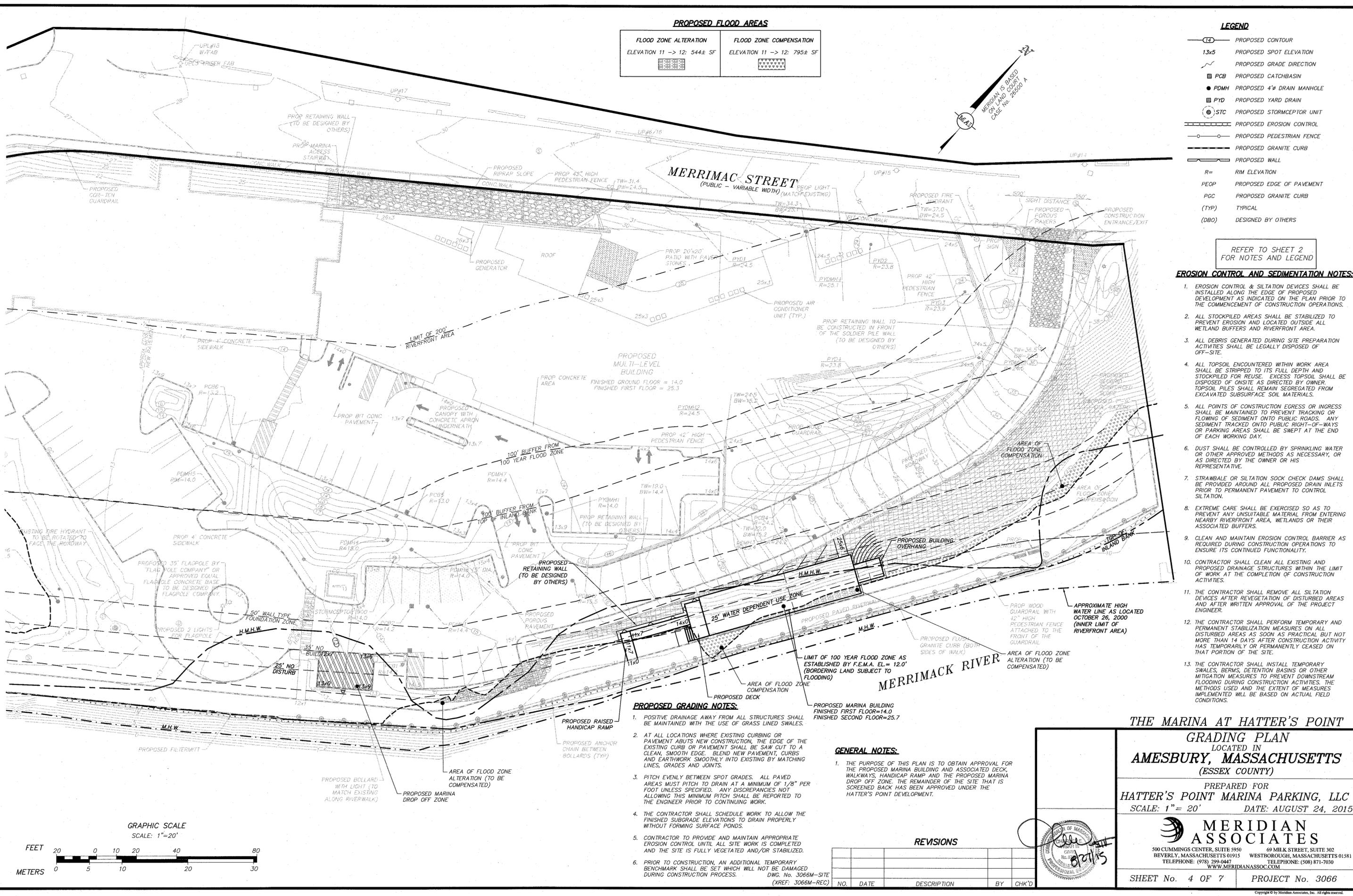


REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D

DWG. No. 3066M-LAYOUT
 (XREF: 3066M-SITE)





PROPOSED FLOOD AREAS

FLOOD ZONE ALTERATION ELEVATION 11 -> 12: 544± SF	FLOOD ZONE COMPENSATION ELEVATION 11 -> 12: 795± SF

LEGEND

- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED GRADE DIRECTION
- PROPOSED CATCHBASIN
- PROPOSED 4" DRAIN MANHOLE
- PROPOSED YARD DRAIN
- PROPOSED STORMCEPTOR UNIT
- PROPOSED EROSION CONTROL
- PROPOSED PEDESTRIAN FENCE
- PROPOSED CONCRETE CURB
- PROPOSED WALL
- R= RIM ELEVATION
- PEOP PROPOSED EDGE OF PAVEMENT
- PGC PROPOSED GRANITE CURB
- (TYP) TYPICAL
- (DBO) DESIGNED BY OTHERS

REFER TO SHEET 2 FOR NOTES AND LEGEND

EROSION CONTROL AND SEDIMENTATION NOTES:

- EROSION CONTROL & SILTATION DEVICES SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED ON THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.
- ALL STOCKPILED AREAS SHALL BE STABILIZED TO PREVENT EROSION AND LOCATED OUTSIDE ALL WETLAND BUFFERS AND RIVERFRONT AREA.
- ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF-SITE.
- ALL TOPSOIL ENCOUNTERED WITHIN WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE DISPOSED OF ON-SITE AS DIRECTED BY OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS. ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS OR PARKING AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
- DUST SHALL BE CONTROLLED BY SPRINKLING WATER OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.
- STRAWBALE OR SILTATION SOCK CHECK DAMS SHALL BE PROVIDED AROUND ALL PROPOSED DRAIN INLETS PRIOR TO PERMANENT PAVEMENT TO CONTROL SILTATION.
- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING NEARBY RIVERFRONT AREA, WETLANDS OR THEIR ASSOCIATED BUFFERS.
- CLEAN AND MAINTAIN EROSION CONTROL BARRIER AS REQUIRED DURING CONSTRUCTION OPERATIONS TO ENSURE ITS CONTINUED FUNCTIONALITY.
- CONTRACTOR SHALL CLEAN ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES WITHIN THE LIMIT OF WORK AT THE COMPLETION OF CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL REMOVE ALL SILTATION DEVICES AFTER REVEGETATION OF DISTURBED AREAS AND AFTER WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- THE CONTRACTOR SHALL PERFORM TEMPORARY AND PERMANENT STABILIZATION MEASURES ON ALL DISTURBED AREAS AS SOON AS PRACTICAL BUT NOT MORE THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED ON THAT PORTION OF THE SITE.
- THE CONTRACTOR SHALL INSTALL TEMPORARY SWALES, BERMS, DETENTION BASINS OR OTHER MITIGATION MEASURES TO PREVENT DOWNSTREAM FLOODING DURING CONSTRUCTION ACTIVITIES. THE METHODS USED AND THE EXTENT OF MEASURES IMPLEMENTED WILL BE BASED ON ACTUAL FIELD CONDITIONS.

PROPOSED GRADING NOTES:

- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE MAINTAINED WITH THE USE OF GRASS LINED SWALES.
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ADJUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONTINUING WORK.
- THE CONTRACTOR SHALL SCHEDULE WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT FORMING SURFACE PONDS.
- CONTRACTOR TO PROVIDE AND MAINTAIN APPROPRIATE EROSION CONTROL UNTIL ALL SITE WORK IS COMPLETED AND THE SITE IS FULLY VEGETATED AND/OR STABILIZED.
- PRIOR TO CONSTRUCTION, AN ADDITIONAL TEMPORARY BENCHMARK SHALL BE SET WHICH WILL NOT BE DAMAGED DURING CONSTRUCTION PROCESS.

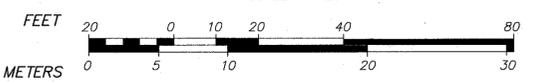
GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS TO OBTAIN APPROVAL FOR THE PROPOSED MARINA BUILDING AND ASSOCIATED DECK, WALKWAYS, HANDICAP RAMP AND THE PROPOSED MARINA DROP OFF ZONE. THE REMAINDER OF THE SITE THAT IS SCREENED BACK HAS BEEN APPROVED UNDER THE HATTER'S POINT DEVELOPMENT.

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D

GRAPHIC SCALE
SCALE: 1"=20'



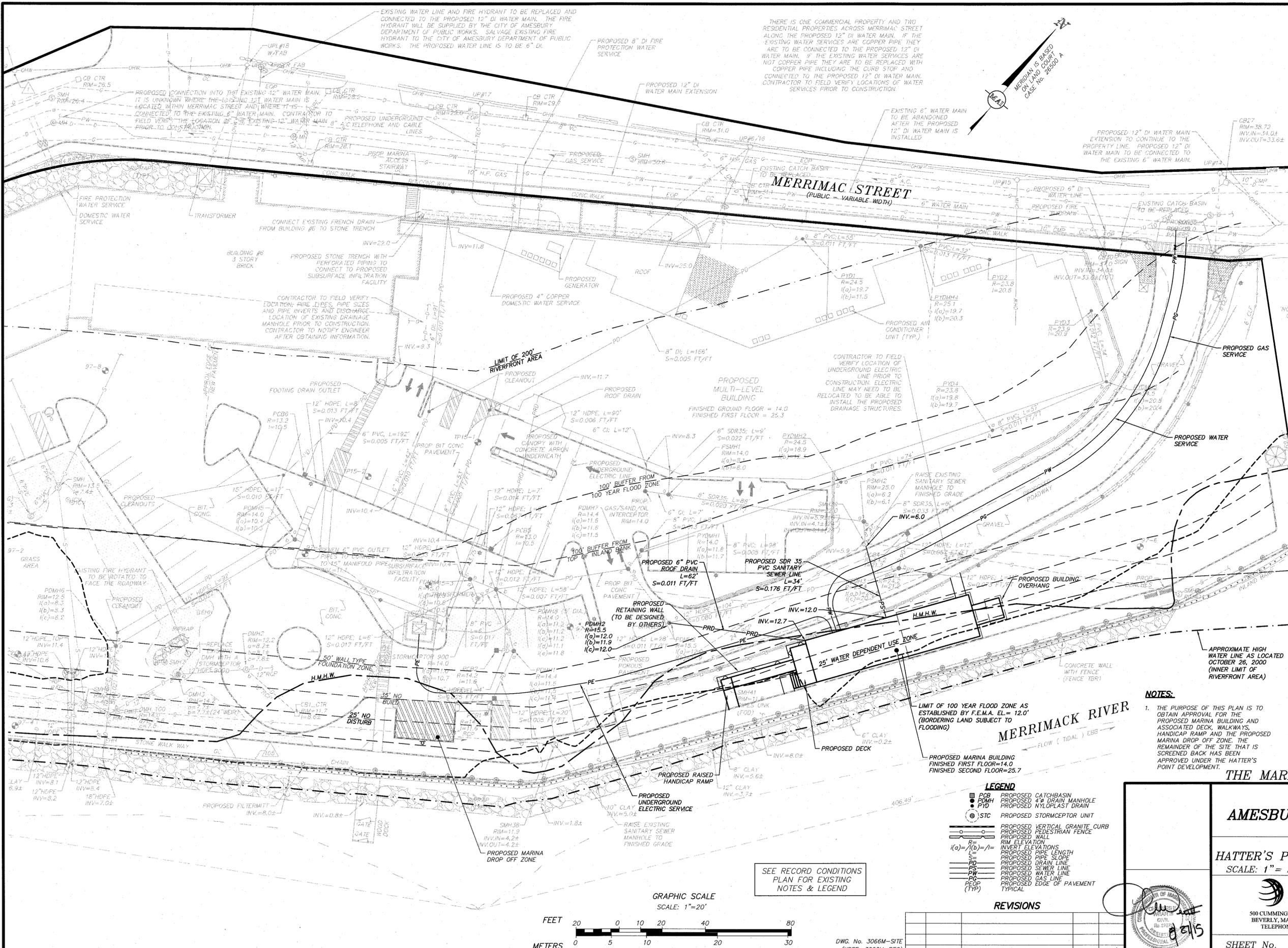
THE MARINA AT HATTER'S POINT
GRADING PLAN
LOCATED IN
AMESBURY, MASSACHUSETTS
(ESSEX COUNTY)

PREPARED FOR
HATTER'S POINT MARINA PARKING, LLC
SCALE: 1"=20' DATE: AUGUST 24, 2015

MERIDIAN ASSOCIATES

500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915
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SHEET No. 4 OF 7 PROJECT No. 3066



- PROPOSED UTILITY NOTES:**
- THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ENGINEER FOR RESOLUTION.
 - INSTALL ALL UTILITIES (INCLUDING CONCRETE MECHANICAL PADS) PER MEP SPECIFICATIONS, UTILITY COMPANY AND LOCAL DPW STANDARDS.
 - CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION AT NO COST TO OWNER.
 - ABANDON EXISTING UTILITY SERVICES AS REQUIRED ONSITE ACCORDING TO UTILITY COMPANY AND CITY OF AMESBURY REQUIREMENTS.
 - EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
 - COORDINATE UTILITY CONSTRUCTION WITH ALL TRADES AND CORRESPONDING DESIGN PLANS FOR CONNECTION TO EXISTING BUILDING AND SITE UTILITIES.
 - CONTRACTOR TO VERIFY UTILITY STUB LOCATIONS AND ELEVATIONS IN THE FIELD PRIOR TO COMMENCING WORK.
 - PROPOSED BUILDING UTILITY CONNECTIONS DEPICTED HEREON HAVE BEEN PROVIDED FOR SCHEMATIC PURPOSES ONLY. ACTUAL UTILITY CONFIGURATIONS SHALL BE DETERMINED BY THE RESPECTIVE UTILITY PROVIDERS, MEP SPECIFICATIONS, AND PROPOSED CONNECTION LOCATIONS PROVIDED BY THE ARCHITECT.
 - REFER TO ARCHITECTURAL AND MEP PLANS FOR INFORMATION AND DETAILS REGARDING THE LOCATION, SIZE AND TYPES OF PROPOSED UTILITY CONNECTIONS.
 - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEE'S, VALVES, EXPANSION AND/OR CONTRACTION FITTINGS, GATES AND ALL OTHER PARTS AND PIPING NECESSARY FOR THE INSTALLATION OF THE WATER LINE. ALL WORK SHALL BE COORDINATED WITH THE CITY OF AMESBURY WATER DIVISION.
 - ALL TRENCHING, DIGGING, AND EXCAVATING SHALL BE EXECUTED AND PROTECTED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS, INCLUDING, BUT NOT LIMITED TO, MASSACHUSETTS GENERAL LAW 82A ("JACKIE'S LAW", EFFECTIVE JANUARY 1, 2009).
 - THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPLETION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
 - EXISTING SANITARY SEWER MANHOLE TO BE CORE DRILLED. PROPOSED SEWER LINE TO BE INSTALLED WITH A RUBBER BOOT. CONTRACTOR TO COORDINATE THE INSTALLATION WITH THE CITY OF AMESBURY PUBLIC WORKS. CONTRACTOR TO USE CARE WHEN WORKING NEAR EXISTING SANITARY SEWER MANHOLE BECAUSE SEWER LINE IS THE MAIN INTERCEPTOR FOR MORE THAN 50% OF THE SEWER FLOW IN THE CITY OF AMESBURY.
 - EXISTING WATER SERVICE FOR THE TEMPORARY MARINA TRAILER TO BE REMOVED AFTER THE PROPOSED MARINA BUILDING IS CONSTRUCTED.
 - EXISTING ELECTRIC SERVICE TO BE REMOVED AFTER THE PROPOSED MARINA BUILDING IS CONSTRUCTED.
 - EXISTING SEWER LINE FOR THE TEMPORARY MARINA TRAILER TO BE ABANDONED AFTER THE PROPOSED MARINA BUILDING IS CONSTRUCTED. THE CONTRACTOR SHALL VERIFY HOW THE MARINA TRAILER IS CONNECTED TO THE SEWER LINE AND COORDINATE WITH THE CITY OF AMESBURY PUBLIC WORKS.

- NOTES:**
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UTILITY PLAN
LOCATED IN
AMESBURY, MASSACHUSETTS
(ESSEX COUNTY)**

PREPARED FOR
HATTER'S POINT MARINA PARKING, LLC
SCALE: 1" = 20' DATE: AUGUST 24, 2015



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SHEET No. 5 OF 7 PROJECT No. 3066

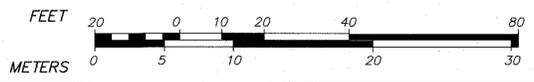
- LEGEND**
- PCB PROPOSED CATCHBASIN
 - PMH PROPOSED 4" DRAIN MANHOLE
 - PD PROPOSED NYLOPLAST DRAIN
 - STC PROPOSED STORMCEPTOR UNIT
 - PROPOSED VERTICAL GRANITE CURB
 - PROPOSED PEDESTRIAN FENCE
 - RIM RIM ELEVATION
 - I IVERT ELEVATION
 - L PROPOSED PIPE LENGTH
 - S PROPOSED PIPE SLOPE
 - PS PROPOSED SEWER LINE
 - PW PROPOSED WATER LINE
 - PG PROPOSED GAS LINE
 - PEOP PROPOSED EDGE OF PAVEMENT TYPICAL

REVISIONS

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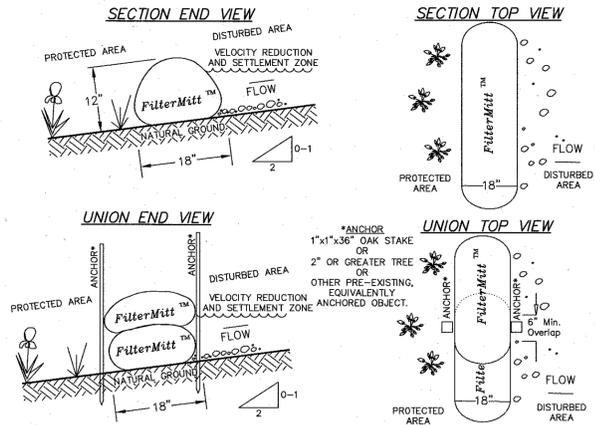
SEE RECORD CONDITIONS
PLAN FOR EXISTING
NOTES & LEGEND

GRAPHIC SCALE
SCALE: 1" = 20'



DWG. No. 3066M-SITE
(XREF: 3066M-REC)



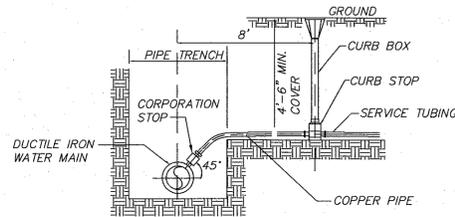


FilterMitt™ COMPONENTS:
 OUTSIDE CASING: 100% organic hessian.
 FILLER INGREDIENT: **FiberRoot Mulch™**
 • A blend of coarse and fine compost and shredded wood.
 • Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.
 • Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./l.f.)

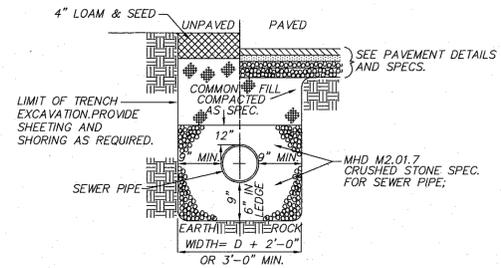
For more information visit:
www.groundscapexpress.com
 or contact us at:
Groundscapes Express, Inc.
 P.O. Box 737
 Wrentham, MA 02093
 (508) 384-7140

FilterMitt™ INSTALLATION:
 With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.
 Sections can also be delivered to the site in lengths from 1' to 8'.
 The flexibility of **FilterMitt™** allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.
 Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union.

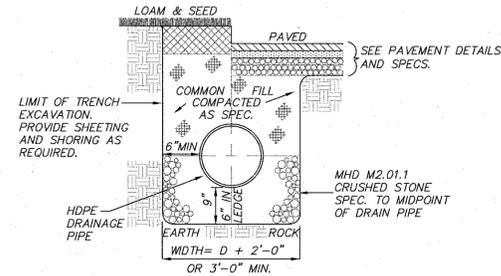
FILTERMITT 2:1 SLOPES OR LESS
 (NOT TO SCALE)



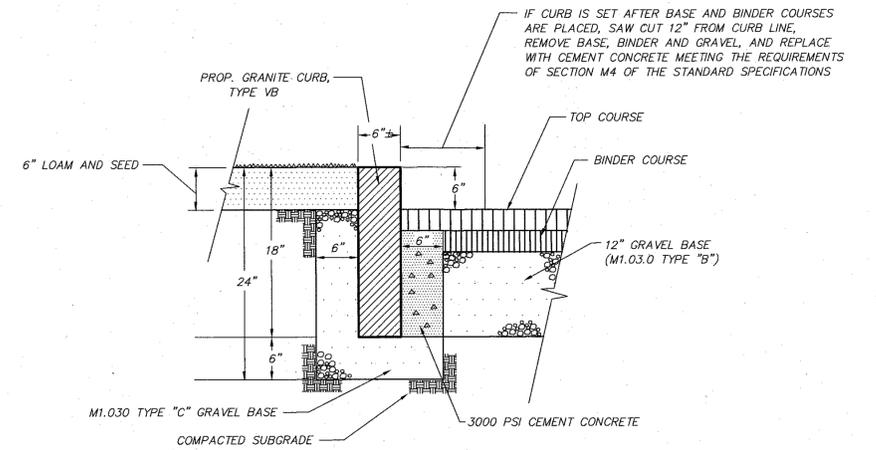
TYPICAL WATER SERVICE
 (NOT TO SCALE)



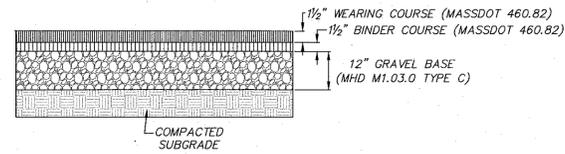
SEWER TRENCH
 (NOT TO SCALE)



DRAIN TRENCH
 (NOT TO SCALE)

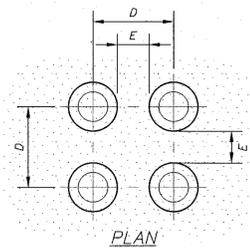


GRANITE CURB DETAIL
 (NOT TO SCALE)

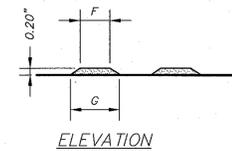


NOTE: PROP. 3" CLASS 1 BIT. CONC. PAVEMENT 1-1 PLACED IN TWO COURSES (1-1/2" TOP OVER 1-1/2" BINDER PER MASSDOT STANDARD SPECIFICATIONS)

BITUMINOUS CONCRETE PAVEMENT SECTION
 (NOT TO SCALE)



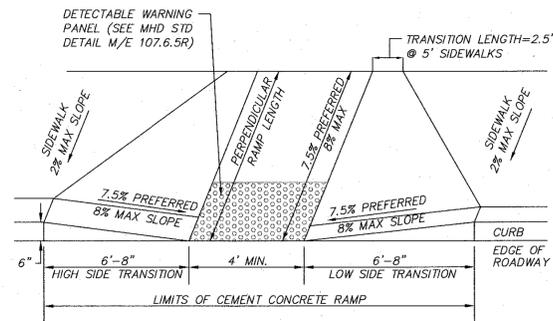
	MIN.	MAX.
D	1.60"	2.40"
E	.65"	1.50"
F	.45"	.80"
G	.90"	1.40"



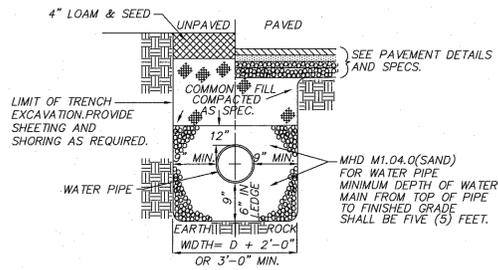
WHEELCHAIR RAMP DETECTABLE WARNING DETAIL
 (NOT TO SCALE)

NOTES:

1. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN. (23mm.), A HEIGHT OF NOMINAL 0.2 IN. (5mm.), AND A CENTER TO CENTER SPACING OF NOMINAL 2.35 IN. (60mm.) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
2. SHALL CONFORM WITH MassDOT STD DETAIL M/E 107.6.5R.



WHEELCHAIR RAMP DETAIL
 (NOT TO SCALE)



WATER TRENCH
 (NOT TO SCALE)

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D

THE MARINA AT HATTER'S POINT

DETAILS
 LOCATED IN
AMESBURY, MASSACHUSETTS
 (ESSEX COUNTY)

PREPARED FOR
HATTER'S POINT MARINA PARKING, LLC
 SCALE: NOT TO SCALE DATE: AUGUST 24, 2015

MERIDIAN ASSOCIATES

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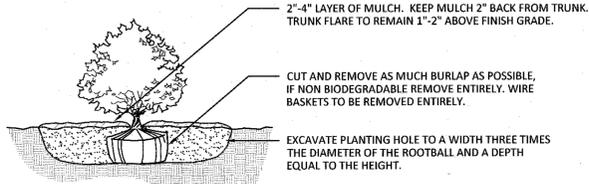
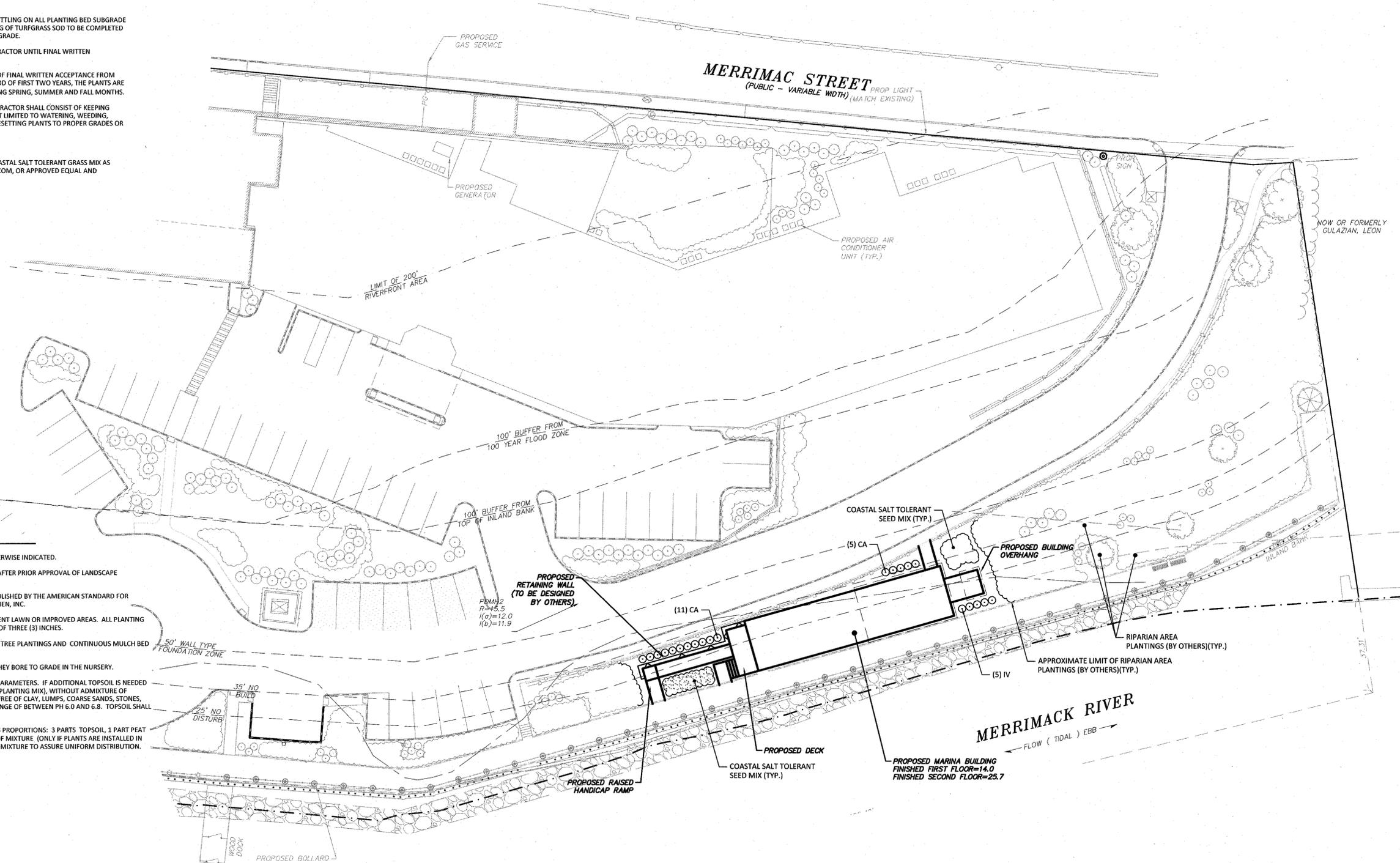
SHEET No. 6 OF 7 PROJECT No. 3066

LANDSCAPE NOTES

1. PLANTING MIX SHALL BE SPREAD TO A MINIMUM DEPTH OF SIX (6) INCHES AFTER SETTLING ON ALL PLANTING BED SUBGRADE AREAS UPON COMPLETION OF FINAL GRADING. SEEDING OPERATION OR SPREADING OF TURFGRASS SOD TO BE COMPLETED IMMEDIATELY FOLLOWING THE APPLICATION OF THE PLANTING MIX OVER THE SUBGRADE.
2. ALL PLANT MATERIALS AND LAWN AREAS TO BE MAINTAINED BY LANDSCAPE CONTRACTOR UNTIL FINAL WRITTEN ACCEPTANCE IS PROVIDED TO CONTRACTOR BY OWNER OR HIS REPRESENTATIVE.
3. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR TWO YEARS FOLLOWING DATE OF FINAL WRITTEN ACCEPTANCE FROM THE OWNER OR HIS REPRESENTATIVE. DURING THIS PLANT ESTABLISHMENT PERIOD OF FIRST TWO YEARS, THE PLANTS ARE TO BE WATERED TO AN EQUIVALENT OF 1/2" TO 1" OF WEEKLY PRECIPITATION DURING SPRING, SUMMER AND FALL MONTHS.
4. ON-GOING LONG TERM LANDSCAPE MAINTENANCE BY THE OWNER OR HIRED CONTRACTOR SHALL CONSIST OF KEEPING THE PLANTS IN A HEALTHY GROWING CONDITION; AND SHALL INCLUDE BUT IS NOT LIMITED TO WATERING, WEEDING, CULTIVATING, RE-MULCHING, PRUNING OR REMOVAL OF DEAD MATERIAL, AND RESETTling PLANTS TO PROPER GRADES OR UPRIGHT POSITION.
5. REFER TO ELECTRICAL PLANS FOR LIGHTING INFORMATION.
6. EROSION CONTROL/RESTORATION MIX IN RIPARIAN AREA TO BE NEW ENGLAND COASTAL SALT TOLERANT GRASS MIX AS AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, AMHERST, MA, WWW.NEWP.COM, OR APPROVED EQUAL AND APPLIED AND MAINTAINED PER MANUFACTURER'S RECOMMENDATIONS.

LANDSCAPE NOTES

7. SPACE PLANTS AT SCALED DISTANCES SHOWN ON DRAWINGS UNLESS OTHERWISE INDICATED.
8. ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL ONLY BE MADE AFTER PRIOR APPROVAL OF LANDSCAPE ARCHITECT.
9. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
10. ALL PLANTING BEDS TO BE FILLED WITH SOIL AND CROWNED ABOVE ADJACENT LAWN OR IMPROVED AREAS. ALL PLANTING BEDS TO BE MULCHED WITH AGED HARDWOOD BARK MULCH TO A DEPTH OF THREE (3) INCHES.
11. PROVIDE FIVE (5) FOOT DIAMETER MULCH CIRCLE AROUND ALL INDIVIDUAL TREE PLANTINGS AND CONTINUOUS MULCH BED AROUND SHRUB PLANTINGS.
12. PLANT MATERIALS SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS THEY BORE TO GRADE IN THE NURSERY.
13. REUSE EXISTING TOPSOIL ENCOUNTERED ON-SITE AND AMEND TO BELOW PARAMETERS. IF ADDITIONAL TOPSOIL IS NEEDED PROVIDE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMY CHARACTER (FOR PLANTING MIX), WITHOUT ADMIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM A WELL-DRAINED SITE, REASONABLY FREE OF CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS AND OTHER FOREIGN MATERIALS, WITH ACIDITY RANGE OF BETWEEN PH 6.0 AND 6.8. TOPSOIL SHALL NOT BE DELIVERED OR WORKED IN A MUDDY OR FROZEN CONDITION.
14. PLANTING MIX: MIX THE SPECIFIED MATERIALS ON-SITE IN THE FOLLOWING PROPORTIONS: 3 PARTS TOPSOIL, 1 PART PEAT MOSS, 1 PART SAND, WITH 5 POUNDS OF SUPERPHOSPHATE/ CUBIC YARD OF MIXTURE (ONLY IF PLANTS ARE INSTALLED IN SPRING). ALL AMENDMENTS SHALL BE THOROUGHLY INCORPORATED INTO MIXTURE TO ASSURE UNIFORM DISTRIBUTION.
15. IRRIGATION SYSTEM IS TO BE INSTALLED BY OTHERS.

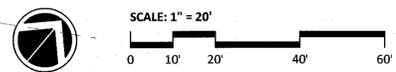


- NOTES:
- BACKFILL PLANTING HOLE WITH EXISTING SOIL AMENDED AS NECESSARY.
 - BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.
 - IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.

SHRUB PLANTING
(NOT TO SCALE)

LIST OF PLANTS TO BE CHOSEN FROM - ALL PLANTS NATIVE TO EASTERN U.S.

QTY	SYM	COMMON NAME	LATIN NAME	SIZE	NOTES
SHRUBS					
16	CA	SWEET PEPPERBUSH	CLETHRA ALNIFOLIA	TUBELING	24" O.C.
5	IV	WINTERBERRY	ILEX VERTICILLATA	3'-4'	B&B



REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D

DWG No. 3066-3_LAND.dwg



LANDSCAPE PLAN
LOCATED IN
AMESBURY, MASSACHUSETTS
(ESSEX COUNTY)

PREPARED FOR
HATTER'S POINT CAPITAL, LLC
SCALE: 1" = 20' DATE: AUGUST 24, 2015

MERIDIAN ASSOCIATES

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SHEET No. 7 OF 7 PROJECT No. 3066