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AMESBURY CITY CLERK

PLANNING BOARD DECISION

Property Ownership: **E.F. Shea Concrete Products**

Applicant: **Shea Concrete Products Trust,
773 Salem Street, Wilmington, MA 01887**

Application Type: **SPECIAL PERMIT & SITE PLAN REVIEW**

Project: **Office Building & Storage Building**

Location: **87 & 89 Haverhill Road, Amesbury, MA 01913**

Date: **March 23, 2015**

A. GENERAL

On or about 9/29/2014, the Amesbury Planning Board (the "Board") received an application for Special Permit (Office Use in Industrial Zoning District) and Site Plan Review for a proposed two story 13,800 sf (gross floor area) Office Building and a 3,600 sf storage building ("Project") at 87 and 89 Haverhill Road Amesbury MA. The application was submitted along with a Site Plan (the "Plan") drawn by Millennium Engineering, Inc., 62 Elm Street, Salisbury, MA 01952 on 9/29/2014 and last revised on 02/26/2015. The application and supporting documents were submitted by Brian Murray P.E. on behalf of Greg Stratis, Manager, E.F. Shea Concrete Products (the "Applicant"). The set of plans includes ten (10) sheets.

The Board also received supplemental plans and documents pertaining to stormwater and drainage, erosion control, elevations and landscaping plans for review (see Exhibits). The following plans are attached as exhibits:

- Exhibit 1 - Approved Plan Set (Sheets 1 – 10)
- Exhibit 2 - Preliminary Architectural Elevations and Floor Plans
- Exhibit 3 – Preliminary Landscape Plan

The Board held the initial public hearing on 10/27/2014 and subsequent continued public hearings on 11/10/2014, 1/12/2015, and 2/23/2015. The public hearing was closed on 03/09/2015 and a decision was rendered on 03/23/2015.

This is the Final Action of the Board (“Decision”) on the applications for Special Permit and Site Plan Review.

B. FINDINGS:

1. **Project Site:** The Subject Property is located at 87 and 89 Haverhill Road and comprises of 49.2 acres and 0.5 acres per Assessor's Office records. The two lots are included under the same deed (Bk. 29275, Pg. 68).

2. **Existing Conditions:** In general, the topography of the project lots is relatively flat along Haverhill Road (Elev. 120.0 +/-) and continues into the site for approximately 75-100 ft. The topography rises to a highpoint (Elev. 137.0 +/-) approximately 300 ft. into the site where it then descends to low points (Elev. 92.0 +/-) approximately 1,000 ft. into the site. Wetland resource areas are present in the back portion of the lot but are over 300-500 feet away from proposed disturbances associated with this project.

3. **Project Description and Proposed Use:** Shea Concrete Products (SCP) proposes to construct a new Office Building (the "Building") with related off-street parking improvements and a new storage building at 87 and 89 Haverhill Road (Route 110) in Amesbury MA. The Building will serve as SCP's corporate headquarters and include administrative staff, engineers, and dispatch personnel supporting the manufacturing operations. The Building will also provide locker room facilities for drivers. The new office building footprint is 4,600 s.f. with a total gross area of 13,800 s.f., including the basement. The Building and related parking improvements will require the demolition of an unoccupied residential building currently used to store building materials and the demolition of SCP's current office building. Parking reconfiguration will support needs of the Building. The Building has been located to allow for the existing office building to remain in use while the new facility is being built. The proposed storage building will house manufactured projects and material used in production. No hazardous materials will be stored within the new storage building. The layout of the new storage building minimizes disturbance to abutting properties by limiting vehicle access to the easterly side of the new storage building. The Board finds the building and parking arrangement satisfactory;

4. **Site Layout, Grading and Building Location:** The location and layout of the building takes advantage of the sloped site and separates client and visitor access (1st floor) from

employee access (2nd floor). A paved area is also provided abutting the employee parking area and the new office building allowing trucks to briefly park and coordinate with the dispatcher for delivery purposes. In order to address grade changes related to the office building location, 4 retaining walls are proposed. The walls will be constructed using concrete blocks manufactured by SCP. Given the close proximity to parking areas for three of the walls, these walls will extend to a height of approximately 3 ft. above grade to act as a guardrail system. This retaining wall - guardrail system has been developed by SCP;

5. **Off – Street Parking, Traffic and Vehicular Circulation:** A total of 37 parking spaces are proposed to support the new office building. Ten (10) parking spaces will be located along the front of the new office building. These spaces will be used for client and visitor parking and include 2 handicap accessible spaces. Twenty-seven (27) parking spaces are located in the back of the new office building and will be used by employees of SCP. A paved area (truck dispatch area) is provided in the back of the new building to allow truck drivers to coordinate with the dispatch office located within the new office building. This area will allow SCP trucks to park temporarily while drivers enter the dispatch office and coordinate delivery operations. Typically, the trucks will be parked for less than 2-3 minutes before they leave the truck dispatch area. The Board finds the proposed parking layout and circulation patterns to be adequate to meet the off-street parking and loading requirements;

6. **Storm water Management:** The peer review consultants working for the Board reviewed the proposed stormwater management system. A detailed Operation and Maintenance Plan has been presented to the Board. In order to meet the Massachusetts Stormwater Management Standards and maximize groundwater recharge, 3 underground infiltration systems, a grass swale, and rain garden are proposed. Further, the design has maximized the use of groundwater infiltration/recharge systems to address Site Plan regulations promoting the use on infiltration measures. The applicant and their assignees will be required to follow the maintenance requirements to ensure proper functioning of the drainage structures. The Board finds that these design measures and maintenance requirements will reduce the likelihood of any detrimental impact on abutting properties

due to stormwater runoff provided the stormwater management system is constructed as shown on approved plans;

7. **Environmental Resource Protection:** No work is proposed within any environmental jurisdictional areas. The Board finds that no additional assessment is needed for compliance with local environmental regulations;
8. **Architectural Design:** Preliminary elevation drawings were provided to the Board for the proposed Building. The applicant has requested that the Board waive the requirement for submitting architectural drawings for the storage building. The Board finds the preliminary architectural design satisfactory provided the final architectural drawings are consistent with these preliminary drawings;
9. **Landscaping** A landscaping plan was submitted along with the Site Plan. The Board finds that the landscaping plan needs to be revised to comply with the requirements of the landscape buffers along the public way. The Board will review the revised plan pursuant to this Decision prior to start of construction;
10. **Signage** – No signage was proposed on the building. No changes were proposed to the existing signage on the property.
11. **Lighting:** The proposed lighting plan shows different light fixtures depending on location. Medium height pole lights in the parking lot with dark sky compliant fixtures are being proposed. Bollards are being proposed along walkways. The Board finds this lighting proposal desirable as it reduces the amount of light spillage across property lines, glares and does not detract drivers.

Based on the findings noted in 1 through 11 above, the Board finds that the Project satisfies the Development and Performance Standards under Section XI.C.8 and the Site Plan Review Criteria under Section XI.C of the Amesbury Zoning Bylaw (the “Bylaw”).

C. WAIVERS

By application dated 09/29/2014, the Applicant provided the Board with a list of waivers sought from the specific provisions of Amesbury's Subdivision Rules and Regulations and the Zoning Bylaw (see list below in Table 1). The Board has endeavored to grant waivers from those rules and regulations, only to the extent necessary, where the waivers are consistent with the purpose and intent of the regulations and would not threaten public health, safety or welfare and to minimize harm and disruption to the locus and real property abutting the locus. In the event that further waivers are required, the Applicant shall submit a written request for such waiver(s) to the Board and the Board may grant or deny such additional waivers in accordance with applicable rules and regulations in effect at that time. The following waivers are granted to the extent necessary to construct the approved plan as submitted and revised:

TABLE 1:

Section(s) of Amesbury Zoning Bylaw	Requested Waiver	Decision of the Board
Section XI.C.8.i.3 -	Photometric analysis of site lighting required. Request the waiver from performing a photometric analysis.	Granted to the extent necessary and consistent with the conditions of this Approval
Section VIII.G.6.	Sloped granite edging required around the perimeter of parking areas. Provide cement concrete curbing in place of sloped granite edging.	Granted to the extent necessary and consistent with the conditions of this Approval
Section VIII. A	Off-Street Parking and Loading Regulations Required number of Spaces = 50. Provide 37 parking spaces.	Granted to the extent necessary and consistent with the conditions of this Approval

D. APPROVAL OF THE SITE PLAN AND CONDITIONS THERETO

Upon notice and after a public hearing in accordance with the statute (General Laws, Chapter 40A, section 11) and the Amesbury Zoning Bylaw, and after full consideration of the evidence presented, and upon the findings made in Section B of this Decision, the Board determined that a conditional Special Permit and Site Plan Approval is granted for the proposed Office and Storage Buildings located at 87 & 89 Haverhill Road in Amesbury as shown on the approved Plan further upon the conditions and hereinafter set forth, for the premises described in the application.

I. COMPLIANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS:

The Project and all construction, utilities, roads, drainage, earth removal and filling and all related appurtenances with respect to the Project, shall comply with all applicable local, state and federal regulations except as waived specifically by this Decision. The Applicant shall be responsible for acquiring all other local, state and federal permits and approvals as necessary to construct the Project as approved by the Board. Final action on all other permits shall be submitted to the Board for record. The Board notes that the following are some of the permits needed for this Project prior to start of any construction activity:

1. Compliance with the Massachusetts Wetlands Protection Act and related regulations, G. L. c. 131, § 40-40A, and the Amesbury Wetlands Ordinance and Regulations;
2. Compliance with DEP Stormwater Regulations, as needed;
3. NPDES permit from Environmental Protection Agency, and
4. Curb-cut permit amendment from Massachusetts Department of Transportation.

II. PRIOR TO START OF ANY CONSTRUCTION ACTIVITY ON SITE

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Environmental Compliance:** The Applicant shall submit a copy of the recorded Certificate of Compliance as issued by the Amesbury Conservation Commission for PRIOR Orders of Conditions on subject parcel(s);
2. **Legal Documents:** The following documents shall be submitted to the Board and the Building Inspector:
 - a) **Documents Recorded at the Southern Essex Registry of Deeds:**
 - i. Planning Board Decision and Plan Set - A copy of this Decision and Approved Plan Set;
 - ii. Curb Cut permit amendment from MassDOT - Any changes necessitated to the Site Plan by said permit shall require review and approval by the Board prior to start of any construction activity;
 - iii. Record Plan showing the various lots have been merged to create one lot;
3. **CAD Drawings** - Three copies of all drawings and site plans as approved by Board shall be provided as Computer Assisted Drawings (CAD) on Compact Disks to the Board;
4. **Submission of Architectural Drawings:** A copy of the complete set of detailed architectural elevations and floor plans for the proposed office Building shall be submitted to the Board. Final design/architectural plans for the storage building shall also be submitted. The final architectural drawings shall be sufficiently annotated to describe in detail the building materials, details and color scheme for both buildings. The Board shall review and approve the final drawings, which approval is required before making request for a building permit for said buildings.
5. **Sedimentation and Erosion Control Bond** – The Applicant shall be required to post Surety with the Board for Sedimentation and Erosion to ensure that stormwater runoff management and erosion control measures are implemented on site as per Final Plans and other engineering drawings and to ensure that remedial actions can be taken to address any detrimental impacts from erosion and sedimentation during construction and until the stormwater management system is fully operational;

6. **Performance Bond:** The Applicant shall be required to post a surety with the Board to ensure that all site stormwater systems and other improvements including landscaping, improvements are installed and completed as shown on the Final Plans. Prior to release of any Surety, the Board shall verify with its construction observation consultant that the work has been completed as per approved plans. The form and amount of surety shall be subject to final approval by the Board;
7. **Retaining Walls:** All retaining walls over four (4) feet shall be designed by a structural engineer and accompanied by supporting documentation indicating that the existing soils and fill are appropriate for the proposed design. Additional test pits and accompanying data shall be supplied with the retaining wall design and details;
8. **Landscaping and buffers along Haverhill Road:** The Final Landscaping Plan shall be revised to add plant material of equal quantity as needed per zoning requirements along public ways and shall be provided in strategic locations such as the primary entrance driveway. Final landscaping plan shall be revised and submitted for Board's review and approval. All landscaped areas and vegetative buffers shall be planted in accordance with the approved landscape plan and shall be maintained by the Property owner(s) in perpetuity.
9. **Trash Removal/Recycling** - Dumpster location shall be identified on site; and required fencing shall be wood stockade fence and final details shall be submitted for review and approval by Board; chain link and vinyl fence shall not be allowed.
10. **Pre-Construction Conference** - At least five (5) business days prior to any initial site work, a Pre-Construction conference shall be held with the Applicant, Applicant's contractor, a representative of the Board, its consulting engineer, and representatives of the City Departments having an interest in the Plan. Said meeting shall be for the purpose of familiarization with the project, the conditions of approval, and the project's construction sequence and timetable; and

11. **Request for Pre-construction Conference:** The request for a Pre-construction Conference shall be acted upon by the Board only AFTER the Board has received and reviewed ALL of the documents required per this Decision before start of construction and has determined that the Project is ready to proceed to the construction phase. Upon authorization by the Board, its representatives shall schedule the Pre-construction Conference.

III. DURING CONSTRUCTION

The following shall apply to all construction activity as per approved Site Plan:

1. **Stockpiles** - All earth stockpiles shall be established in locations as approved by the ACC or at a distance no less than fifty (50') feet from the edge of flagged wetlands boundary, whichever is greater. Earth material stockpiles shall not be allowed immediately adjacent to perimeter siltation barriers or drain inlets. Long term stockpiles over 30 days shall be shaped stabilized and circled by siltation fence and haybales and shall be stabilized by temporary seeding, sheeting or netting;
2. **Utility Trenches** - Utility trenches within the public Right of Way shall be saw-cut prior to excavation. Open trenches shall be backfilled with bank gravel and compacted to 95%. Trenches shall be paved with asphalt binder to a minimum depth of three (3) inches and overlaid curb to curb on Main Street to a minimum depth of one and half (1.5) inches. Water service trenches shall be infrared joint paved. The Director of DPW and the City Engineer shall have the final signoff on the right of way improvements and any change to these standards or those shown on approved plans shall be subject to their review and approval; and
3. **Erosion Control and Stormwater Maintenance Requirement:** The Applicant's designee or assignee shall on a quarterly basis submit interim reports and supporting documents to the Board showing that requirements for stormwater system maintenance are being adhered according to the approved SWPPP.

IV. PRIOR TO MAKING REQUEST FOR AN OCCUPANCY PERMIT

The Applicant shall file with the Board and all other relevant public agencies for review and for consistency with this Decision any documents and shall have completed the following actions:

1. **Certification of Improvements** - The Applicant shall request the Board for a Certificate of Improvements and submit it to the Building Inspector from the Board verifying that conditions of approval have been met and that construction to date is per the approved plans;
2. **Landscape Installation** - All site improvements, including landscaping and street trees shall be completed and installed as per Final Plans. The Landscaped Architect for the project shall submit a certification that the trees, shrubs and screening plants have been installed as per approved Final plans. All proposed trees shall be placed in position or staked out for approval by the Board prior to digging;
3. **As-Built Plans and Repairs** - To ensure compliance with the terms and conditions of this Decision and any approval or order by any federal, state-agency, the Applicant shall submit plans with a certification from a Professional Engineer or Architect registered in the Commonwealth of Massachusetts that the Project "As-Built Plan" complies in all substantive respects with this Decision and any other approval or order by any federal, state or local agency. Any damage to public roads and walkways shall be repaired and/or replaced to the satisfaction of the DPW Director and City Engineer;

V. GENERAL AND IN PERPETUITY CONDITONS

1. **Inspections** - The Planning Board shall require the inspection of drainage, stormwater management structures, roadway, parking and other site improvements to ensure that the work is carried out in accordance with the Final Plans and to ensure that all improvements are in compliance with the conditions stated in this Decision. The Board shall require the establishment of a construction observation account and the Applicant shall provide the

funds necessary for inspection by the Board's consultant prior to start of any construction activity;

2. **Allowed Uses:** Only one (1) new office building with total gross floor area of 13,800 s.f., including the basement, shall be allowed by this Decision. The footprint of the office building shall not exceed 4,600 s.f. One storage facility not exceeding 3,600 sf of gross floor area shall be allowed. On other additions, expansions or alteration of existing buildings is allowed by this Decision;
3. **Final Release of the Performance Bond** - Final release of performance bond shall be made when all the following conditions have been met:
 - a) Upon completion of work as shown on the Final Plans, the Applicant shall furnish a report from the Board's construction observation consultant indicating that all work has been completed as per the Board's Decision and as shown on the Final Plans;
 - b) All City Department and the Board's inspectional engineer have recommended release of bond funds;
 - c) upon completion of all off-site improvements and stormwater management system, submission of an "As-Built Plan" to the Board along with a written confirmation from a Registered Professional Engineer (P.E.), indicating that construction complies with the approved site plans and conditions of approval, including drainage and utility plans; and
 - d) all landscaping plant materials (trees, shrubs, etc) have survived two (2) growing season and that dead plants have been replaced as per Final Plans;
4. **Release of the Sedimentation and Erosion Control Bond:** Prior to release of any Surety, the Board shall verify with its construction observation Consultant that the soils and slopes have stabilized and that there is evidence of healthy mature grass growing on slopes and lawns, and that all planting materials have survived two (2) growing season. Partial releases shall be allowed in amounts not less than fifty percent (50%) of the total initial surety bond amount held by the Board;

5. **Post Construction Stormwater Maintenance:** There are several storm water management structures, including but not limited to, bio-retention area, sediment forebay, water quality inlet, drainage trench, that need particular attention and maintenance needs initially. The operator of the stormwater management system shall submit post construction monitoring and maintenance logs and reports for a period of two (2) years after issuance of Certificate of Improvements or completion of all site improvements, whichever is later;
6. **Signage** – This Decision implicitly or explicitly does not endorse or approve any existing signs. Only one building mounted sign shall be allowed on the property pursuant to this Special Permit and such sign shall not exceed eighteen (18) square feet in total sign area. The sign may only be lit indirectly if lighting is proposed. The sign shall be made of natural materials. Final sign details shall be submitted for the Board for review and approval;
7. **Lighting** - Only building mounted light fixtures shall be allowed. The decision only allows for building mounted light fixtures only that are dark sky compliant and shall not exceed 0.2 ft candles at any property line.
8. **Site Plan Modifications:** Prior to expansion, addition or alteration of uses allowed by this Site Plan Approval, the Applicant shall provide detailed information and plans along with a formal written request for modification to the approved Site Plan for determination of minor or major modification and approval by the Board. Any substantial modifications to the approved Site Plan or changes that impact the Performance Standards under XI.C.8 or conditions of approval of this Decision shall be subject to review and approval of the Board. The Board shall, if it so determines, require the applicant to submit a new application for modification to the approved Site Plan and hold a new public hearing for review of the requested modifications; and
9. **Validity:** This permit is valid for no more than two years from the date of issuance.

Chair, Amesbury Planning Board

EXHIBITS:

All plans prepared for Shea Concrete Products, 87 & 89 Haverhill Road, Amesbury, MA. 01913

1) Entitled:	Cover Sheet Shea Concrete Products 87&89 Haverhill Road, Amesbury, MA. 01913 Sheet: 1 of 10 Date: September 29, 2014; Last Revised: February 26, 2015 Prepared by: Millennium Engineering, Inc., Salisbury MA. 01952
2) Entitled:	Existing Conditions Shea Concrete Products 87&89 Haverhill Road, Amesbury, MA. 01913 Sheet: 2 of 10 Date: September 29, 2014; Last Revised: February 26, 2015 Prepared by: Millennium Engineering, Inc., Salisbury MA. 01952
3) Entitled:	Existing Conditions Shea Concrete Products 87&89 Haverhill Road, Amesbury, MA. 01913 Sheet: 3 of 10 Date: September 29, 2014; Last Revised: February 26, 2015 Prepared by: Millennium Engineering, Inc., Salisbury MA. 01952
4) Entitled:	Site Plan Shea Concrete Products 87&89 Haverhill Road, Amesbury, MA. 01913 Sheet: 4 of 10 Date: September 29, 2014; Last Revised: February 26, 2015 Prepared by: Millennium Engineering, Inc., Salisbury MA. 01952
5) Entitled:	Site Plan Shea Concrete Products 87&89 Haverhill Road, Amesbury, MA. 01913 Sheet: 5 of 10 Date: September 29, 2014; Last Revised: February 26, 2015 Prepared by: Millennium Engineering, Inc., Salisbury MA. 01952
6) Entitled:	Utilities Plan Shea Concrete Products 87&89 Haverhill Road, Amesbury, MA. 01913 Sheet: 6 of 10 Date: September 29, 2014; Last Revised: February 26, 2015 Prepared by: Millennium Engineering, Inc., Salisbury MA. 01952
7) Entitled:	Site Details Shea Concrete Products

	87&89 Haverhill Road, Amesbury, MA. 01913 Sheet: 7 of 10 Date: September 29, 2014; Last Revised: February 26, 2015 Prepared by: Millennium Engineering, Inc., Salisbury MA. 01952
8) Entitled:	Drainage Details Shea Concrete Products 87&89 Haverhill Road, Amesbury, MA. 01913 Sheet: 8 of 10 Date: September 29, 2014; Last Revised: February 26, 2015 Prepared by: Millennium Engineering, Inc., Salisbury MA. 01952
9) Entitled:	Water and Sewer Details Shea Concrete Products 87&89 Haverhill Road, Amesbury, MA. 01913 Sheet: 9 of 10 Date: September 29, 2014; Last Revised: February 26, 2015 Prepared by: Millennium Engineering, Inc., Salisbury MA. 01952
10) Entitled:	Erosion Control Details Shea Concrete Products 87&89 Haverhill Road, Amesbury, MA. 01913 Sheet: 10 of 10 Date: September 29, 2014; Last Revised: February 26, 2015 Prepared by: Millennium Engineering, Inc., Salisbury MA. 01952
11) Entitled:	1/8" Floor Plans - Construction Plan Shea Concrete Products Offices 87 Haverhill Road, Amesbury, MA. Sheet: A1.0 Date: May 5, 2014; Last Revised: September 26, 2014 Prepared by: O'Sullivan Architects, Inc., Reading MA. 01867
12) Entitled:	Front and Driveway Side Elevations Shea Concrete Products Offices 87 Haverhill Road, Amesbury, MA. Sheet: A3.1 Date: August 7, 2014; Last Revised: N/A Prepared by: O'Sullivan Architects, Inc., Reading MA. 01867
13) Entitled:	Second Floor Construction Plan Shea Concrete Products Offices 87 Haverhill Road, Amesbury, MA. Sheet: A3.2 Date: August 7, 2014; Last Revised: N/A Prepared by: O'Sullivan Architects, Inc., Reading MA. 01867
14) Entitled:	Landscape Plan Shea Concrete Products 87 Haverhill Road, Amesbury, MA Sheet: L1.0 Date: September 26, 2014; Last Revised: N/A.

	Prepared by: Amory Land Design, LLC, Newburyport, MA. 01950
15) Entitled:	Site Cross Section Shea Concrete Products 87 & 89 Haverhill Road, Amesbury, MA. Sheet: None Date: February 26, 2015; Last Revised: N/A. Prepared by: Millennium Engineering, Inc., Salisbury, MA. 01952
16) Entitled:	Preliminary Design Not for Construction 87 Haverhill Road, Amesbury, MA. Sheet: None Date: February 25, 2015; Last Revised: N/A. Prepared by: Shea Concrete Products, Amesbury, MA. 01913

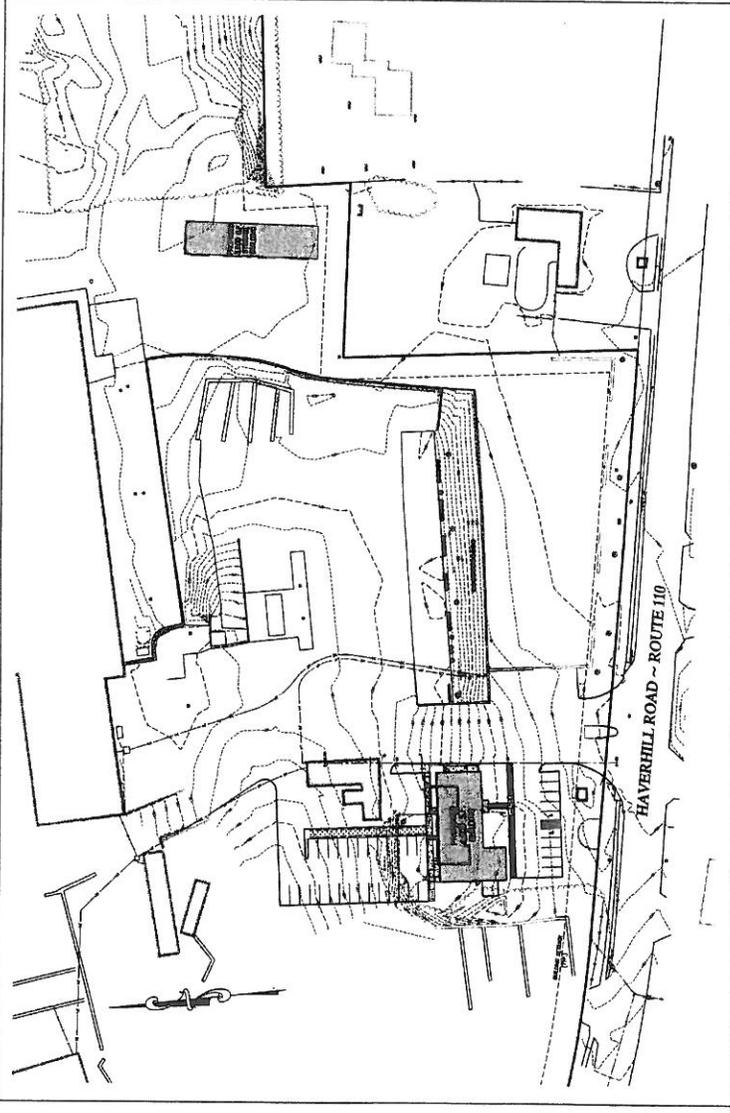
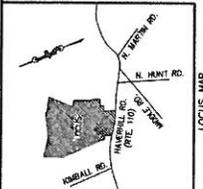
SITE PLAN

FOR

SHEA CONCRETE PRODUCTS

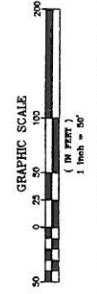
87 & 89 HAVERHILL ROAD

IN
AMESBURY, MA
FEBRUARY 2015



PLAN INDEX

SHEET NO.	TITLE
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	EXISTING CONDITIONS PLAN
4	SITE PLAN 1
5	SITE PLAN 2
6	UTILITIES PLAN
7	SITE DETAILS
8	DRAINAGE DETAILS
9	WATER & SEWER DETAILS
10	EROSION CONTROL DETAILS
L-1	LANDSCAPE PLAN
A1.0	FLOOR PLANS
A3.1	ELEVATIONS
A3.2	ELEVATIONS



PREPARED FOR
SHEA CONCRETE PRODUCTS
 87 & 89 HAVERHILL ROAD
 AMESBURY, MA



NO.	DATE	DESCRIPTION	BY
2	2/26/15	ADDRESS BOARD'S COMMENTS	C.A.T.
1	1/29/15	ADDRESS REVIEWER'S COMMENTS	C.A.T.

MEI **MILLENNIUM ENGINEERING, INC.**
 ENGINEERING AND LAND SURVEYING
 13 HAWTON RD. EXETER, NH 03333 (603) 776-0808

PLAN OF LAND
 IN
AMESBURY, MA
 SHOWING
SITE IMPROVEMENTS
 AT
87 & 89 HAVERHILL ROAD

COVER SHEET
 SHEET: 1 OF 10

NOTE: THIS PROJECT SUBJECT TO SPECIAL PERMIT
 FROM THE AMESBURY PLANNING BOARD
 22ND NOV 14 2014

SECTION
 W.M.A. & C.
 W.C. & L.S.
 P.C. & S.G.

WARRANTS
 RECALCULATION
 OFF-STREET PARKING
 GRANITE CURBING
 LIGHTING
 WALLS GREATER THAN 6 FEET
 NO PHOTOGRAPHIC ANALYSIS PROVIDED
 WALL GREATER THAN 6 FEET PROVIDED

AMESBURY PLANNING BOARD APPROVAL

DATE

ZONING TABLE
BY HAVERHILL ROAD
ZONING DISTRICT INDUSTRIAL - I

RECORDED	EXISTING
LOT AREA	40,000 SQ. FT.
FRONT SETBACK	25 FT.
REAR SETBACK	40 FT.
LOT COVERAGE	50%
OPEN SPACE	40%
BLDG HEIGHT	40 FT.

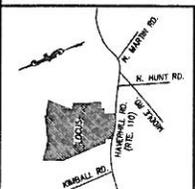
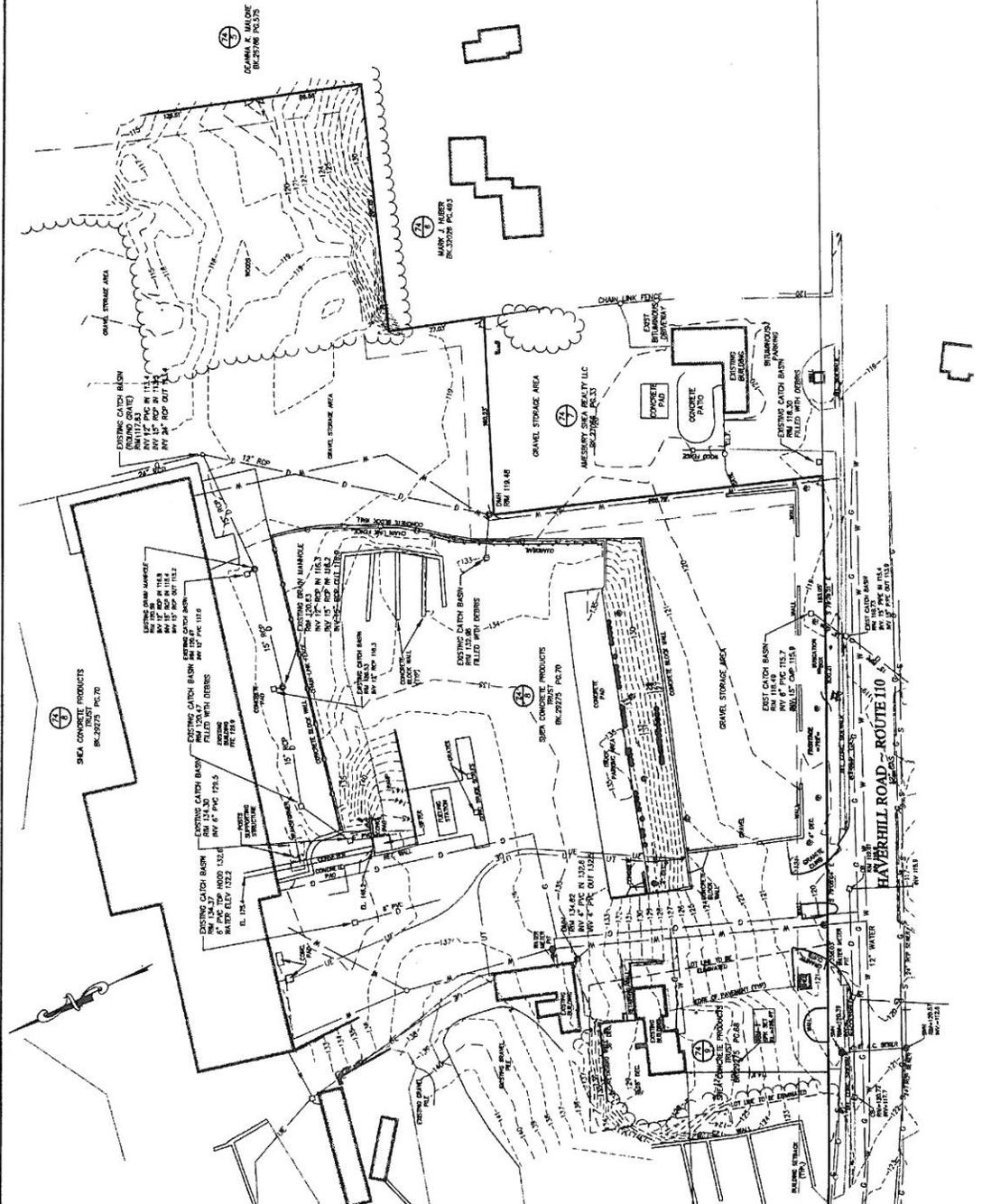
BASS OF BEARINGS
1936 STATE HIGHWAY LAYOUT
OWNER OF RECORD
SHEA CONCRETE PRODUCTS
TRUST 145.3
BK 29775 PL 48
PLAN REFERENCES
1936 STATE HIGHWAY LAYOUT
PLAN BK 29775 PL 48
PLAN BK 29775 PL 49
PLAN BK 29775 PL 50

THE CERTIFICATIONS SHOWN HEREIN ARE NOT TO BE CONSTRUED AS A GUARANTEE OF THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT SHOWN, UNLESS IT IS OTHERWISE SPECIFIED IN WRITING.

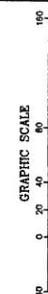
I CERTIFY THAT THIS ACTUAL SURVEY WAS MADE ON THE PREMISES SHOWN HEREON AND THAT THE BOUNDARIES AND AREAS SHOWN ARE TRUE AND CORRECT TO THE BEST OF MY ABILITY AND BELIEF.



DATE: 12-14-15
DATE: 12-14-15



- LEGEND**
- C.B. CONCRETE BASIN
 - S.W. STONE WALL
 - P.K. PAVED DRIVEWAY
 - M.S. MASSACHUSETTS MAIL
 - T.E. TELEPHONE EXCHANGE
 - P.W. POWER WIRE
 - F.D. FENCED AREA
 - T.R. TELEPHONE ROW
 - E.B. ELECTRIC BOX
 - T.M. TELEPHONE MANHOLE
 - L.P. LIGHT POLE
 - U.P. UTILITY POLE
 - W. WELLS
 - S. SINK
 - G. GAS
 - U.W. UNDERGROUND WATER
 - U.E. UNDERGROUND ELECTRIC
 - S.P. SET PENCE
 - S.O. SPOUT ORifice
 - D.M. DRAIN MANHOLE
 - S.M. SEWER MANHOLE
 - T.M. TELEPHONE MANHOLE
 - C.M. CULVERT MANHOLE
 - W. WELL
 - H. HYDRANT
 - G.V. GAS VALVE
 - G.S. GAS SHUT OFF
 - W.O. WATER OFF
 - W.V. WATER VALVE
 - S.P. SPRING

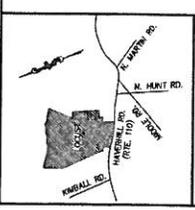


PREPARED FOR
SHEA CONCRETE PRODUCTS
87 HAVERHILL ROAD
AMESBURY, MA

MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
13 HANCOCK RD. EXETER, NH 03028 (R03)
774-0208
SCALE: 1"=40'
DATE: SEPT. 28, 2014
CHG. BY: S.J.R.
PROJECT: M142845

PLAN OF LAND
IN
AMESBURY, MA
SHOWING
SITE IMPROVEMENTS
AT
87 HAVERHILL ROAD

EXISTING
CONDITIONS



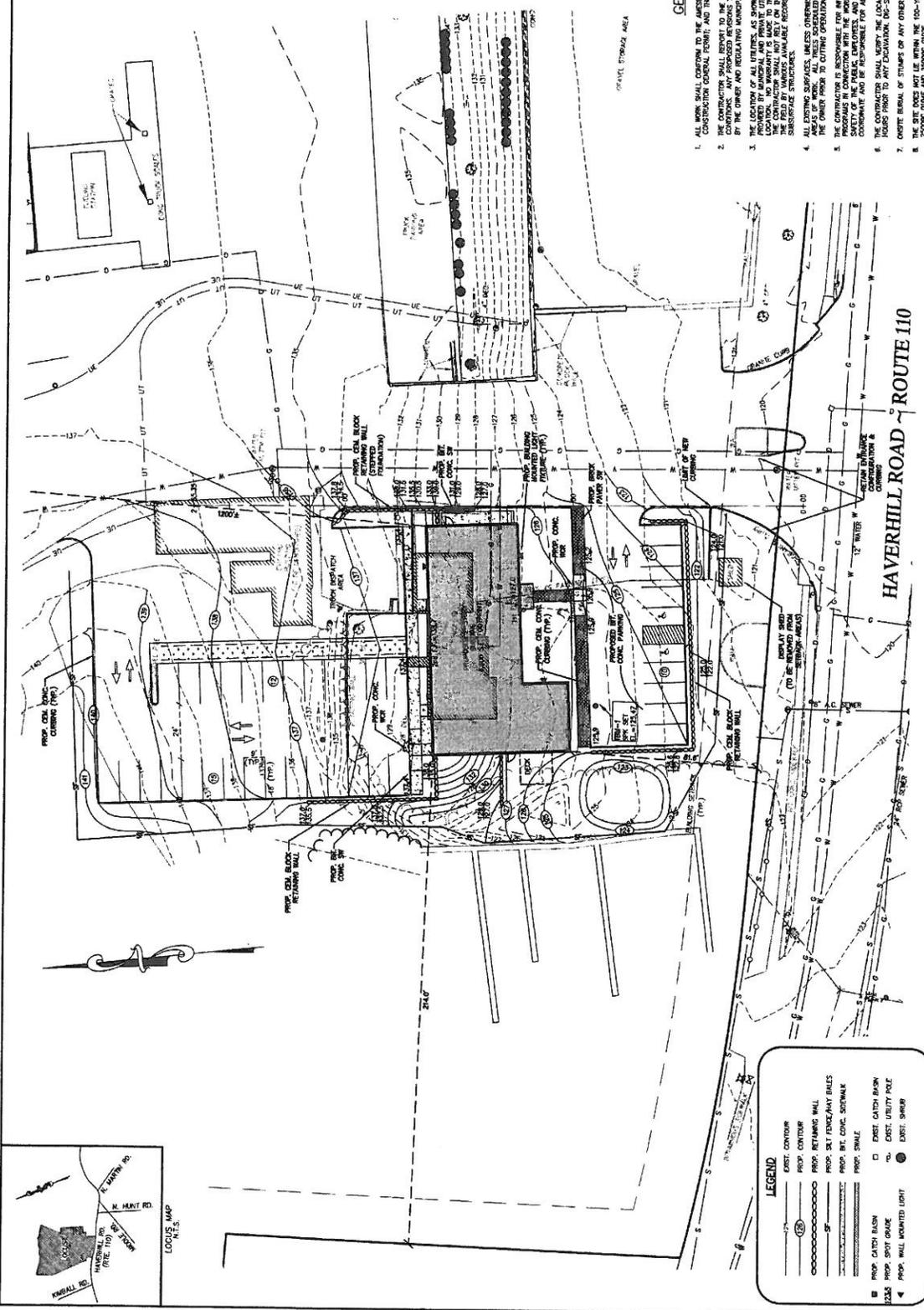
ZONING TABLE
BY HAVERTHILL ROAD

ZONING DISTRICT	PERMITTED	PROHIBITED
LOT AREA	40,000 S.F.	0.75 ACRES
LOT FRONTAGE	125 FT.	114.6'
FRONT SETBACK	25 FT.	23.0'
REAR SETBACK	40 FT.	29.5'
LOT COVERAGE	50%	100%
MIN. SPACES	40 FT.	29.5'
MAX. HEIGHT	40 FT.	40 FT.

PARKING SPACE CALCS.
 GENERAL BUSINESS OFFICES 3.6 SPACES PER 1,000 S.F. GFA
 GENERAL BUSINESS OFFICES
 TOTAL # OF SPACES PROVIDED = 37

AMENITY PLANNING BOARD APPROVAL

DATE _____



GENERAL NOTES

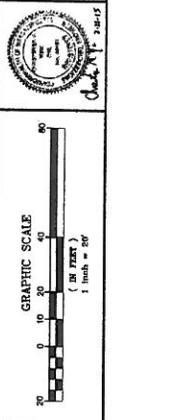
- ALL WORK SHALL CONFORM TO THE AMENITY PLANNING BOARD SITE PLAN, ROAD REGULATIONS, MAPS AND CONSTRUCTION GENERAL PERMITS, AND THESE PLANS.
- THE CONTRACTOR SHALL REPORT TO THE OWNER AND ARCHITECT ANY SIGNIFICANT VARIATIONS IN EXISTING SITE CONDITIONS, UTILITIES, OR OBSTRUCTIONS (UNDERGROUND, AIR, REFERRED AND APPROVED BY THE OWNER AND REGULATORY AGENCIES) AND/OR STATE AGENCIES.
- THE LOCATION OF ALL UTILITIES, AS SHOWN ON THESE PLANS, ARE BASED UPON PLANS AND RECORD INFORMATION PROVIDED BY MUNICIPAL AND PRIVATE UTILITY COMPANIES AND ARE CONSIDERED APPROXIMATE. BOTH AS TO SIZE AND LOCATION. THE CONTRACTOR SHALL NOT RELY ON THESE PLANS FOR SUCH INFORMATION AND SHALL MAKE EXAMINATIONS IN THE FIELD TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES. UNDETECTABLE UTILITIES SHALL BE LOCATED BY ALL NECESSARY METHODS PRIOR TO ANY EXCAVATION. NON-SAFE TELEPHONE CABLES SHALL BE PROTECTED BY CONCRETE "TUB-SHEET" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION. NON-SAFE TELEPHONE CABLES SHALL BE PROTECTED BY CONCRETE "TUB-SHEET" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- ALL EXISTING SURFACES, UNLESS OTHERWISE SHOWN, SHALL BE COMPLETELY REMOVED FROM THE AREAS OF WORK. ALL TREES SCHEDULED FOR REMOVAL SHALL BE FIELD MARKED AND APPROVED FOR REMOVAL BY THE OWNER PRIOR TO CUTTING OPERATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SAFETY REGULATIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL SAFETY REGULATIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL SAFETY REGULATIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY CONCERNS TO PROTECT WORKERS AND THE PUBLIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SAFETY REGULATIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL SAFETY REGULATIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
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PLAN OF LAND
IN
AMENITY PLANNING BOARD
SHOWING
SITE IMPROVEMENTS
87 & 89 HAVERTHILL ROAD

MEI MILLENNIUM ENGINEERING, INC.
 ENGINEERING AND LAND SURVEYING
 12 ELM ST. SALESURY, MA 01952 (978) 463-8980
 13 HAMPTON RD. EXETER, NH 03833 (603) 778-0588

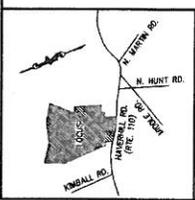
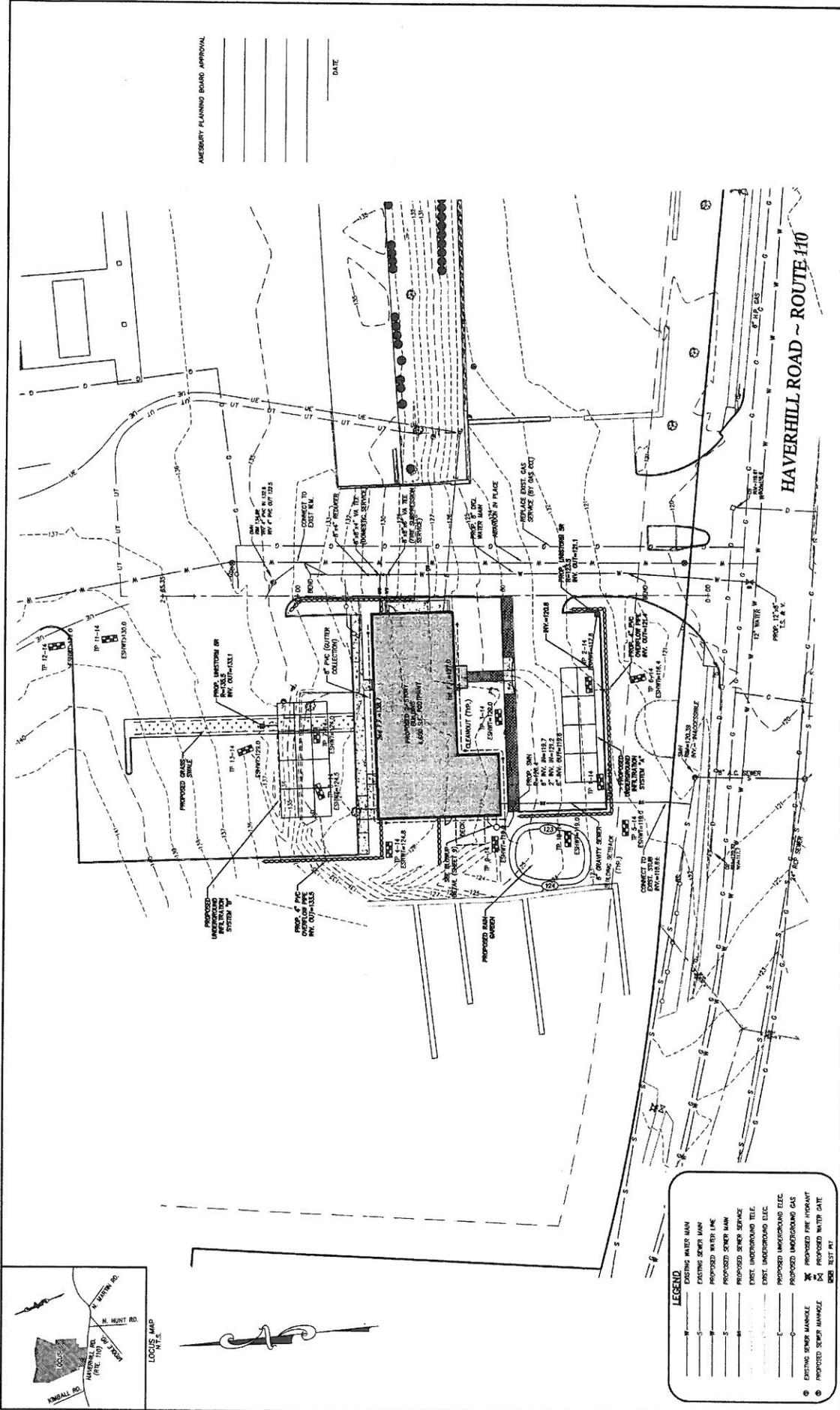
SCALE: 1"=20'
 DATE: SEPT. 29, 2014
 DESIGNED BY: C.M.V.
 CHECKED BY: E.B.R.
 PROJECT: NH-0265

PREPARED FOR
SHEA CONCRETE PRODUCTS
87 & 89 HAVERTHILL ROAD
AMENITY, MA

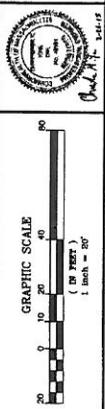


LEGEND

- EXIST. CENTER
- PROP. CENTER
- PROP. RETAINING WALL
- PROP. S&T FENCE/PAV BALES
- PROP. INT. CONC. SIDEWALK
- PROP. SWALE
- PROP. CATCH BASIN
- PROP. SPOT GRADE
- PROP. WALL MOUNTED LIGHT
- EXIST. SHOR



- LEGEND**
- EXISTING WATER MAIN
 - EXISTING SEWER MAIN
 - PROPOSED WATER LINE
 - PROPOSED SEWER MAIN
 - PROPOSED SEWER MANHOLE
 - EXIST. UNDERGROUND TELE.
 - EXIST. UNDERGROUND ELEC.
 - PROPOSED UNDERGROUND ELEC.
 - PROPOSED UNDERGROUND GAS
 - PROPOSED FIRE HYDRANT
 - PROPOSED WATER GATE
 - DOB TEST PIT



PREPARED FOR
SHICA CONCRETE PRODUCTS
 87 & 89 HAVERRILL ROAD
 AMESBURY, MA

NO.	DATE	DESCRIPTION	BY
1	1/20/15	ADDRESS OWNER'S COMMENTS	C.M.V.
2	2/26/15	ADDRESS BOARD'S COMMENTS	C.M.V.

PLAN OF LAND
 IN
AMESBURY, MA
 SHOWING
SITE IMPROVEMENTS
 87 & 89 HAVERRILL ROAD

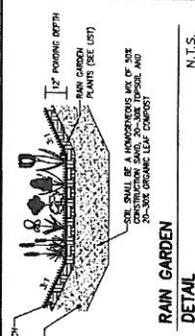
UTILITIES PLAN
 SHEET 6 OF 10

MEI **MILLENNIUM ENGINEERING, INC.**
 ENGINEERING AND LAND SURVEYING
 82 DUM ST. SALESBURY, MA 01822 (978) 461-8800
 13 HAMPDEN RD. EXETER, NH 03823 (603) 778-0528

DATE: SEPT. 29, 2014
 SCALE: 1"=20'
 DESIGNED BY: C.M.V.
 CHECKED BY: E.W.B.
 PROJECT: M142945

AMESBURY PLANNING BOARD APPROVAL

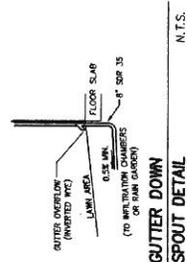
DATE _____



RAIN GARDEN DETAIL
N.T.S.

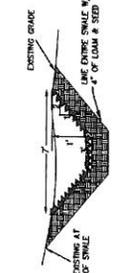
RAIN GARDEN PLANT LIST (TYPICAL)

SYMBOL	COMMON NAME	NUMBER
1	RIVER BIRCH	1
2	SWEET PEEPERUSH	1
3	GRAY DOGWOOD	1
4	WITCHHAZEL	1
5	BLACK-EMER SUSAN	6
6	PINKIE CORNFLOWER	6
7	SPRING CROCUS	6
8	VIOLETS	6

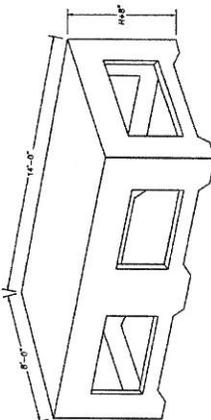


GUTTER DOWN SPOUT DETAIL
N.T.S.

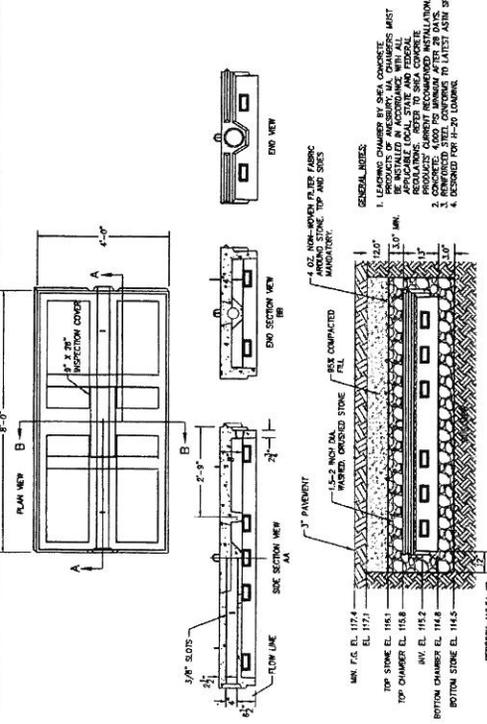
AMBSURY PLANNING BOARD APPROVAL _____
DATE _____



DRAINAGE SWALE DETAIL
N.T.S.



LEACHING CHAMBER (FOR PROP. STORAGE BUILDING)
N.T.S.

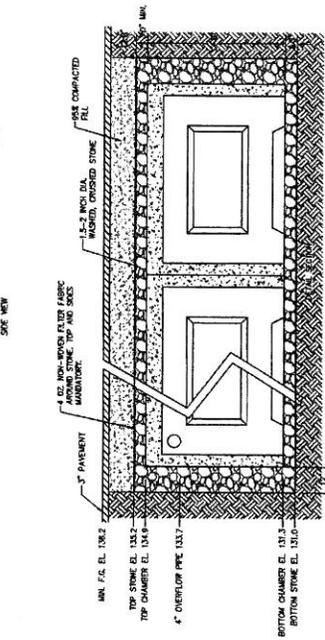


GENERAL NOTES:

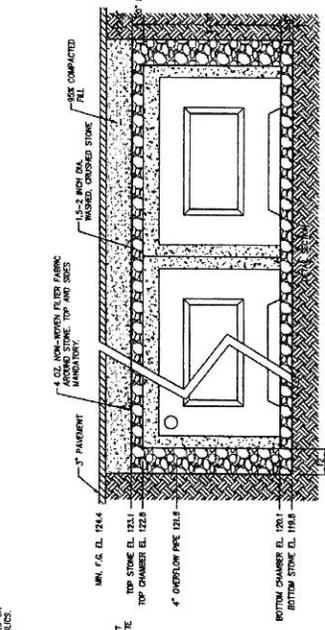
- LEACHING CHAMBER BY SHEA CONCRETE SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- PRODUCTS CURRENTLY RECOMMENDED INSTALLATION SHALL BE AS SHOWN.
- REINFORCED STEEL CONFORMS TO LATEST AISC SPEC.
- DESIGNED FOR H-20 LOADING.

GENERAL NOTES:

- LEACHING CHAMBER BY SHEA CONCRETE SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- PRODUCTS CURRENTLY RECOMMENDED INSTALLATION SHALL BE AS SHOWN.
- REINFORCED STEEL CONFORMS TO LATEST AISC SPEC.
- DESIGNED FOR H-20 LOADING.



UPPER PARKING LOT CHAMBER DETAIL
N.T.S.

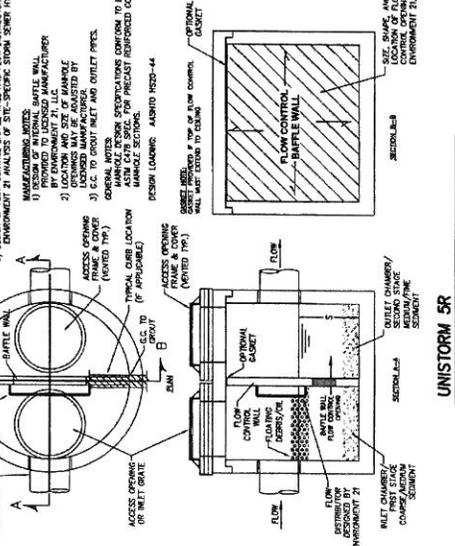


LOWER PARKING LOT CHAMBER DETAIL
N.T.S.

GENERAL NOTES:

- LEACHING CHAMBER BY SHEA CONCRETE SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
- PRODUCTS CURRENTLY RECOMMENDED INSTALLATION SHALL BE AS SHOWN.
- REINFORCED STEEL CONFORMS TO LATEST AISC SPEC.
- DESIGNED FOR ASHTRAY H-20 LOAD, 6 TO 5 FT COVER.

GALLEY LEACHING CHAMBER DETAIL
N.T.S.



UNIFORM SR DETAIL
N.T.S.

PREPARED FOR
SHEA CONCRETE PRODUCTS
87 & 89 HAVERHILL ROAD
AMESBURY, MA

GRAPHIC SCALE
0 10 20 30 40 50
(IN FEET)
1 inch = 5'

PROJECT: M14254-G
DATE: SEPT. 28, 2014
CHD: BY: E.A.B.

DESIGN: M14254-G
DATE: 1-20
SCALE: 1"=20'

ADDRESS: 13 HARTON RD. BOSTON, MA 02131 (617) 774-9899
PHONE: (978) 451-9899
FAX: (978) 451-9899

MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
13 HARTON RD. BOSTON, MA 02131 (617) 774-9899

PLAN OF LAND IN AMESBURY, MA
SHOWING
SITE IMPROVEMENTS
AT
87 & 89 HAVERHILL ROAD

DRAINAGE DETAILS
SHEET: 8 OF 10

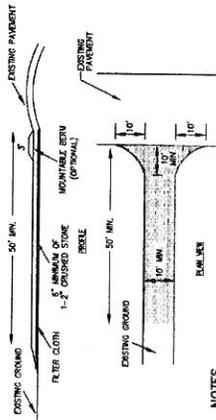


FIG. 101

NOTES

1. STONE SHALL BE 1-2" STONE, RECLAIMED STONE, OR RECYCLED CONCRETE.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50'.
3. THE WIDTH OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 8'.
4. PLACING THE STONE SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO CONSTRUCTION OF THE STABILIZED ENTRANCE.
5. THE STABILIZED ENTRANCE SHALL BE PROTECTED FROM OVERLOADING BY TRUCKS OR OTHER VEHICLES. TRUCKS SHALL NOT BE ALLOWED TO CROSS THE ENTRANCE.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT BRACING OR COLLAPSE OF THE ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT BRACING OR COLLAPSE OF THE ENTRANCE.
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15. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT BRACING OR COLLAPSE OF THE ENTRANCE.

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

GENERAL NOTES

1. ALL STABILIZED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF AMESBURY, MASSACHUSETTS, DEPARTMENT OF PUBLIC WORKS, DIVISION OF STREETS AND HIGHWAYS, CHAPTER 24A, SECTION 24A-10.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF AMESBURY, MASSACHUSETTS, DEPARTMENT OF PUBLIC WORKS, DIVISION OF STREETS AND HIGHWAYS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
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15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

CONSTRUCTION SEQUENCE

1. INSTALL FILTER FABRIC AT BASE OF SLOPE AND STAKE OUT ENTRANCE AREA.
2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS DETAIL.
3. CLEAR AND GRASS DRIVE AND EXPOSE OF PROPERTY.
4. STAKE OUT AND STAKE OUT ENTRANCE AREA.
5. STAKE OUT AND STAKE OUT ENTRANCE AREA.
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15. STAKE OUT AND STAKE OUT ENTRANCE AREA.



TYPICAL RIP-RAP APRON DETAIL

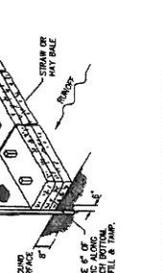
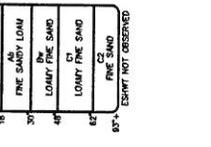
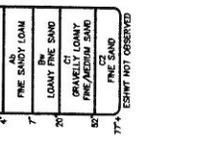
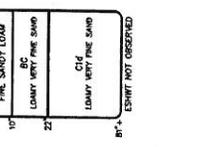
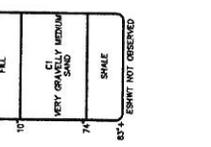
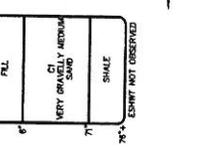
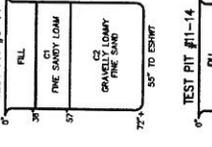
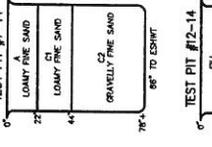
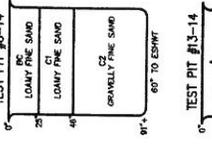
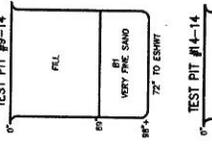
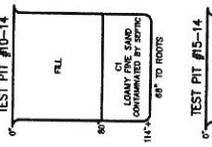
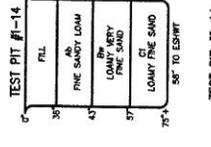
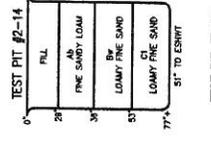
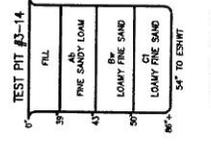
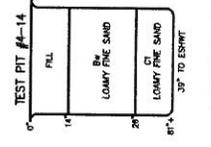
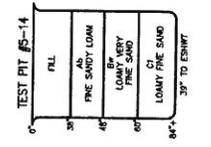
NOTE: CONSTRUCTION EROSION CONTROL MAT SHALL BE UNDER ALL RIP-RAP.

N.T.S.

PREPARED FOR SHEA CONCRETE PRODUCTS 87 & 89 HAVERHILL ROAD AMESBURY, MA



GRAPHIC SCALE
1 INCH = 80'



SLIT FENCE/HAYBALE INSTALLATION

N.T.S.

NOTES

1. POSTS SHALL BE DOUBLE AND COUPLED AT FILTER CLOTH SEAMS.
2. FILTER CLOTH TO BE EXTENDED SECURELY TO SUPPORT KETING WITH TIES SPACED EVERY 24" AT TOP, AND SECTION AND BOTTOM.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 8 INCHES, FOLDED AND STAPLED.

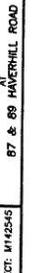
MAINTENANCE

1. SILT FENCES SHALL BE INSPECTED WEEKLY FOR EACH BARREL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY BARRELS THAT ARE DAMAGED OR FULL SHALL BE REPLACED IMMEDIATELY.
2. IF THE FABRIC OF THE SILT FENCE SHALL BE DAMAGED OR BECOME WEARIED DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED IMMEDIATELY.
3. SEDIMENT DEPOSITS SHALL BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHALL BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARREL.
4. BARRELS THAT ARE DAMAGED OR FULL SHALL BE REPLACED IMMEDIATELY. THE FABRIC SHALL BE REPAIRED TO CONFORM WITH THE EXISTING DESIGN AND SPECIFICATIONS.

CONSTRUCTION SEQUENCE

N.T.S.

PREPARED FOR SHEA CONCRETE PRODUCTS 87 & 89 HAVERHILL ROAD AMESBURY, MA



GRAPHIC SCALE
1 INCH = 80'

NECESSARY PLANNING BOARD APPROVAL

DATE _____

EROSION CONTROL DETAILS SHEET: 10 OF 10

PLAN OF LAND
AMESBURY, MA
SHOWING
SITE IMPROVEMENTS
87 & 89 HAVERHILL ROAD

MILLENNIUM ENGINEERING, INC.
ENGINEERING AND LAND SURVEYING
82 CLAY ST. SALESBURG, MA 01952 (978) 483-8889
15 WASHINGTON PK. GARDEN, NY 03043 (603) 776-0528

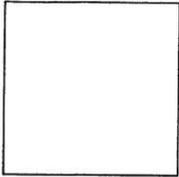
NO.	DATE	DESCRIPTION	BY
1	1/20/15	ADDRESS REVISIONS COMMENTS	C.A.T.
2	2/2/15	ADDRESS REVISIONS COMMENTS	C.A.T.

DESIGN: E.T.G. & B. E.A.B.
CHECK: B.T. E.A.B.
DATE: SEPT. 23, 2014
PROJECT: M12545

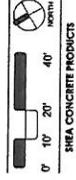
PREPARED FOR SHEA CONCRETE PRODUCTS 87 & 89 HAVERHILL ROAD AMESBURY, MA

GRAPHIC SCALE
1 INCH = 80'

AMORY LAND DESIGN, LLC
248 STRONG STREET
NEWBURYPORT, MA
01951 - 5204

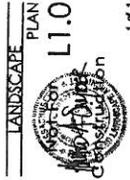


FOR REGISTRY USE ONLY



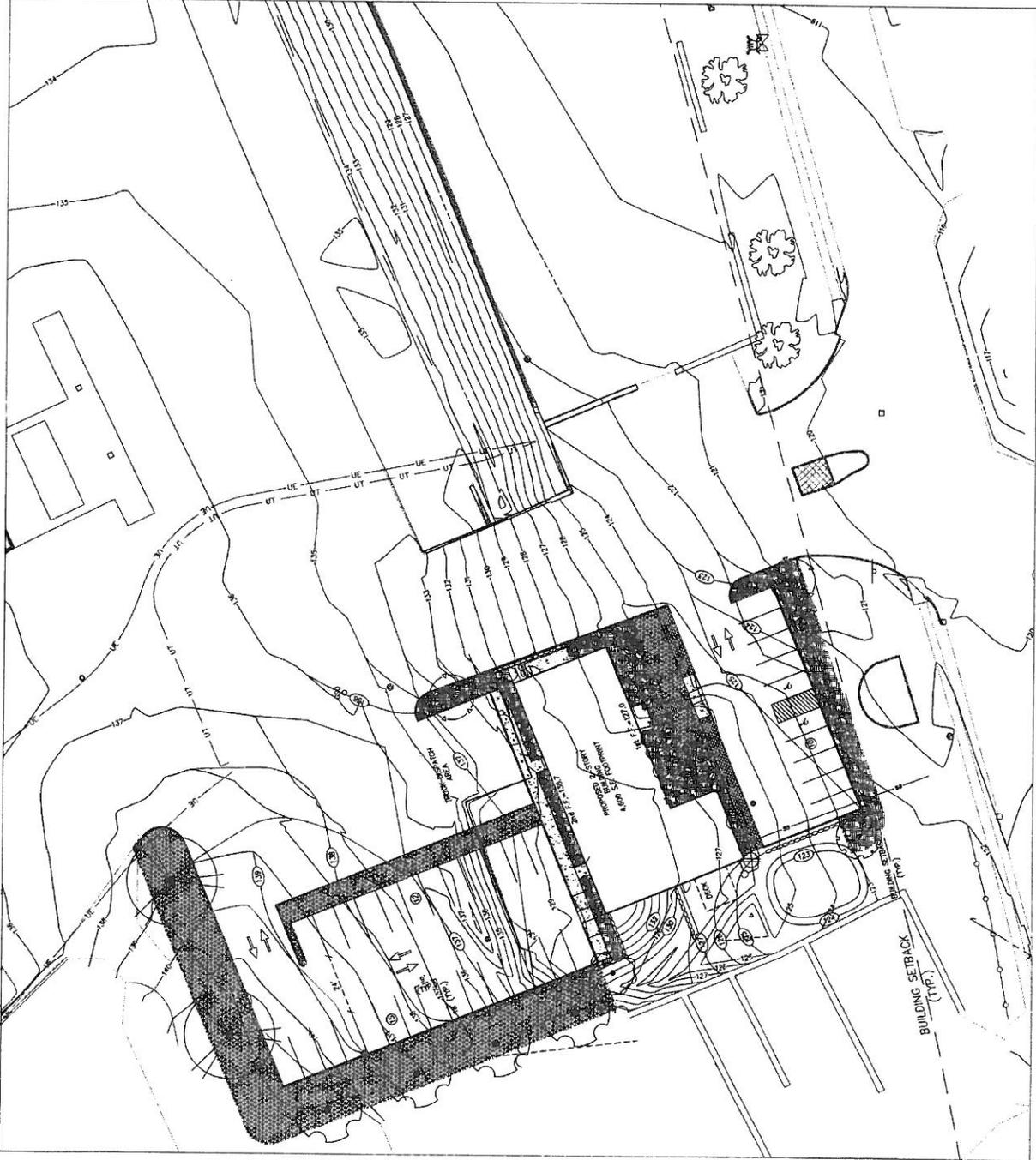
SHEA
CONCRETE PRODUCTS

LANDSCAPE
Project Number: 1000000000
Project Name: 1000000000
Date: 10/01/2010
Scale: 1/8" = 1'-0"



PLANT LEGEND

EXISTING TREES	SIZE	NOTES	QTY
Existing Trees	As Shown	Reference Call Plans for Additional Information	11
DECIDUOUS TREES	SIZE	NOTES	QTY
Shade Tree	24" - 36" Cal.	Site 1, 2, 3, 4	2
Shade Tree	24" - 36" Cal.	Site 1, 2, 3, 4	2
Shade Tree	24" - 36" Cal.	Site 1, 2, 3, 4	4
Shade Tree	24" - 36" Cal.	Site 1, 2, 3, 4	4
ORNAMENTAL TREES	SIZE	NOTES	QTY
Ornamental Tree	1" - 1.5" Cal.	Site 1, 2, 3, 4	1
Ornamental Tree	1" - 1.5" Cal.	Site 1, 2, 3, 4	2
Ornamental Tree	1" - 1.5" Cal.	Site 1, 2, 3, 4	1
Ornamental Tree	1" - 1.5" Cal.	Site 1, 2, 3, 4	1
SHRUBS	SIZE	NOTES	QTY
Shrub	1' Cal.	Zone 1	2
Shrub	1' Cal.	Zone 2	1
Shrub	1' Cal.	Zone 3	2
Shrub	1' Cal.	Zone 4	2
Shrub	1' Cal.	Zone 1	8
Shrub	1' Cal.	Zone 2	15
Shrub	1' Cal.	Zone 3	15
Shrub	1' Cal.	Zone 4	15
Shrub	1' Cal.	Zone 1	15
Shrub	1' Cal.	Zone 2	15
Shrub	1' Cal.	Zone 3	15
Shrub	1' Cal.	Zone 4	15
GRASSES	SIZE	NOTES	QTY
Grass	1' Cal.	Site 1, 2, 3, 4	2
Grass	1' Cal.	Site 1, 2, 3, 4	2
GROUNDCOVERS	SIZE	NOTES	QTY
Groundcover	24" - 36" Cal.	Site 1, 2, 3, 4	14
Groundcover	24" - 36" Cal.	Site 1, 2, 3, 4	5
Groundcover	24" - 36" Cal.	Site 1, 2, 3, 4	4
Groundcover	24" - 36" Cal.	Site 1, 2, 3, 4	4
Groundcover	24" - 36" Cal.	Site 1, 2, 3, 4	26
TURF AND SEED MIX	SIZE	NOTES	QTY
Turf	100 sq. ft.	Site 1, 2, 3, 4	100 sq. ft.
Seed Mix	100 sq. ft.	Site 1, 2, 3, 4	100 sq. ft.
LANDSCAPE MATERIALS	SIZE	NOTES	QTY
Material	100 sq. ft.	Site 1, 2, 3, 4	100 sq. ft.
Material	100 sq. ft.	Site 1, 2, 3, 4	100 sq. ft.



APPROVAL BY
ANEBURY PLANNING BOARD

DATE



O'SULLIVAN ARCHITECTS, INC.
 ARCHITECTURE, INTERIOR DESIGN, LANDSCAPE ARCHITECTURE
 100 STATE STREET, SUITE 200
 BOSTON, MASSACHUSETTS 02109
 TEL: (617) 552-8100 FAX: (617) 552-8101
 WWW.OSULLIVANARCHITECTS.COM

These drawings were prepared by the Architect for the Client. The Client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The Architect is not responsible for any errors or omissions in these drawings or for any consequences arising therefrom. © 2014 O'SULLIVAN ARCHITECTS, INC.

SHEA CONCRETE PRODUCTS OFFICES

87 Haverhill Road
 Amesbury, MA

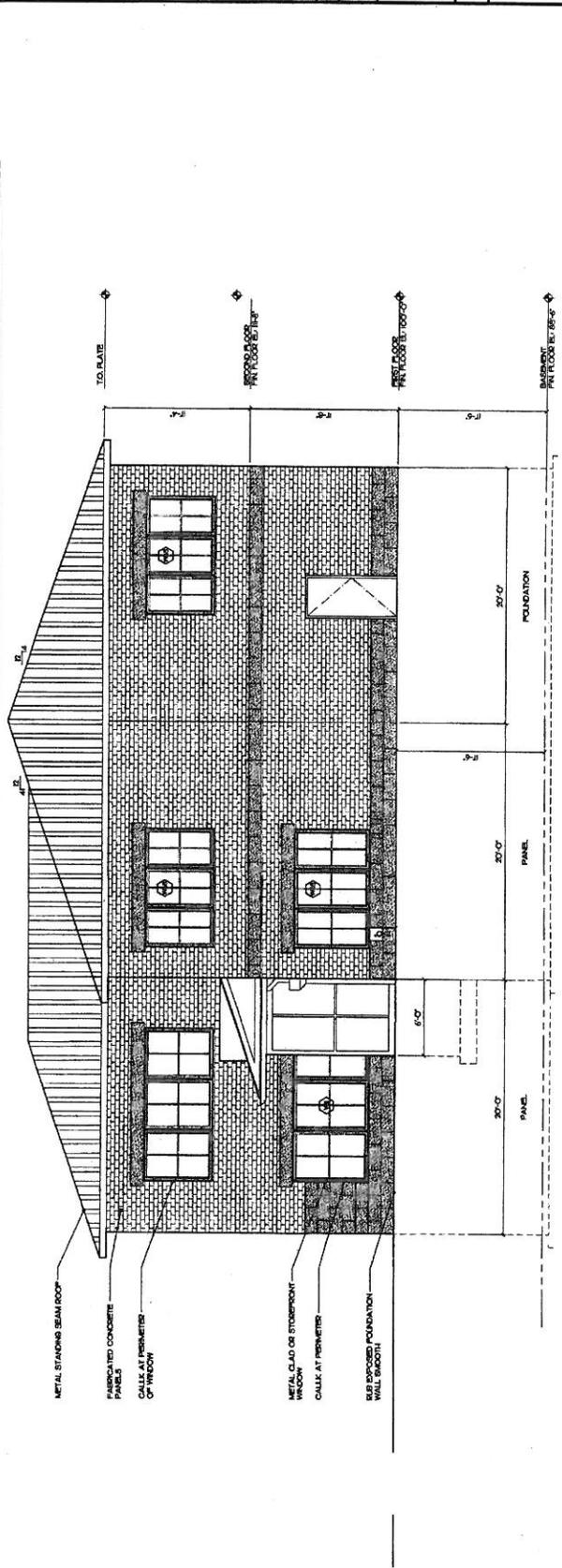
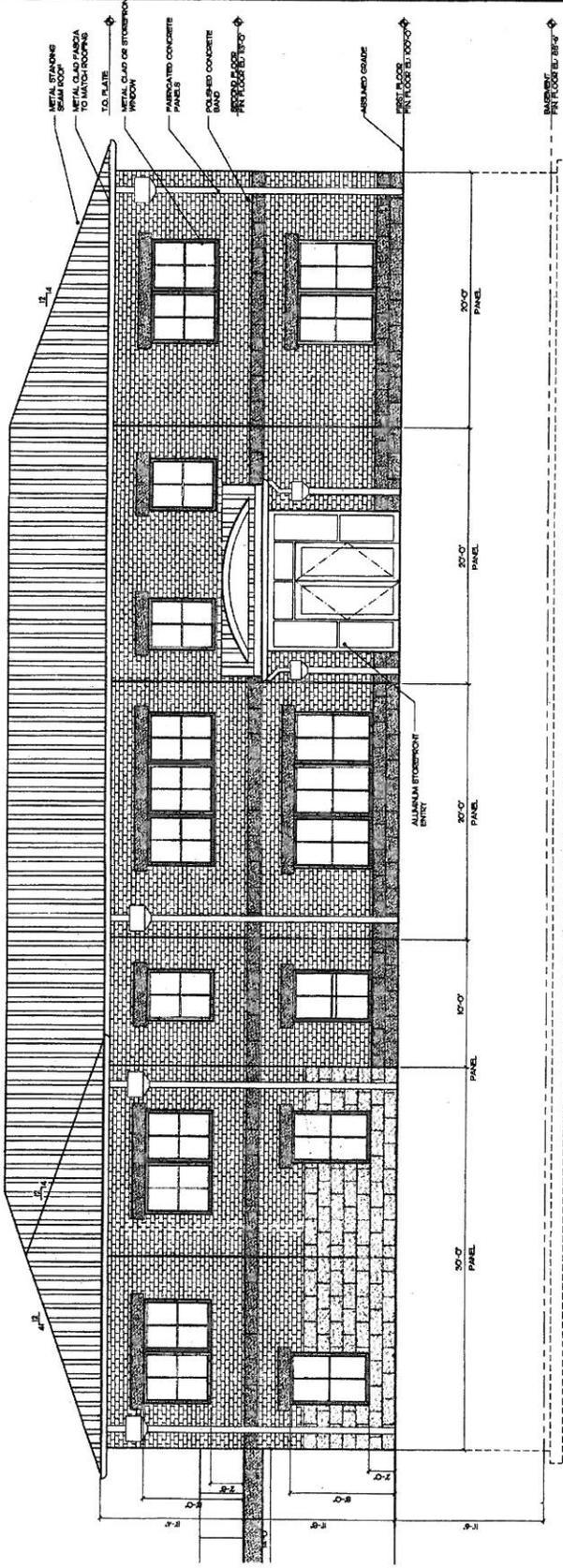
FRONT AND DRIVE WAY SIDE ELEVATIONS



SCALE: 1/4"=1'-0"
 ISSUED/DRAWN BY:
 AUGUST 07, 2014
 REVISED/REVIEWED BY:

JOB NO: 14642

SHEET NUMBER
A3.1





O'SULLIVAN ARCHITECTS, INC.
 ARCHITECTURE, INTERIOR PLANNING
 880 MAIN STREET, SUITE 204
 ROSELAND, MASSACHUSETTS 01870
 TEL: (978) 686-0100 FAX: (978) 686-0170
 WWW.OSULLIVANARCHITECTS.COM

PROJECT: SHEA CONCRETE PRODUCTS OFFICES
 LOCATION: 87 HAVERHILL ROAD, AMESBURY, MA
 DRAWING NO: A3.2
 DATE: 07/2014

SHEA CONCRETE PRODUCTS OFFICES

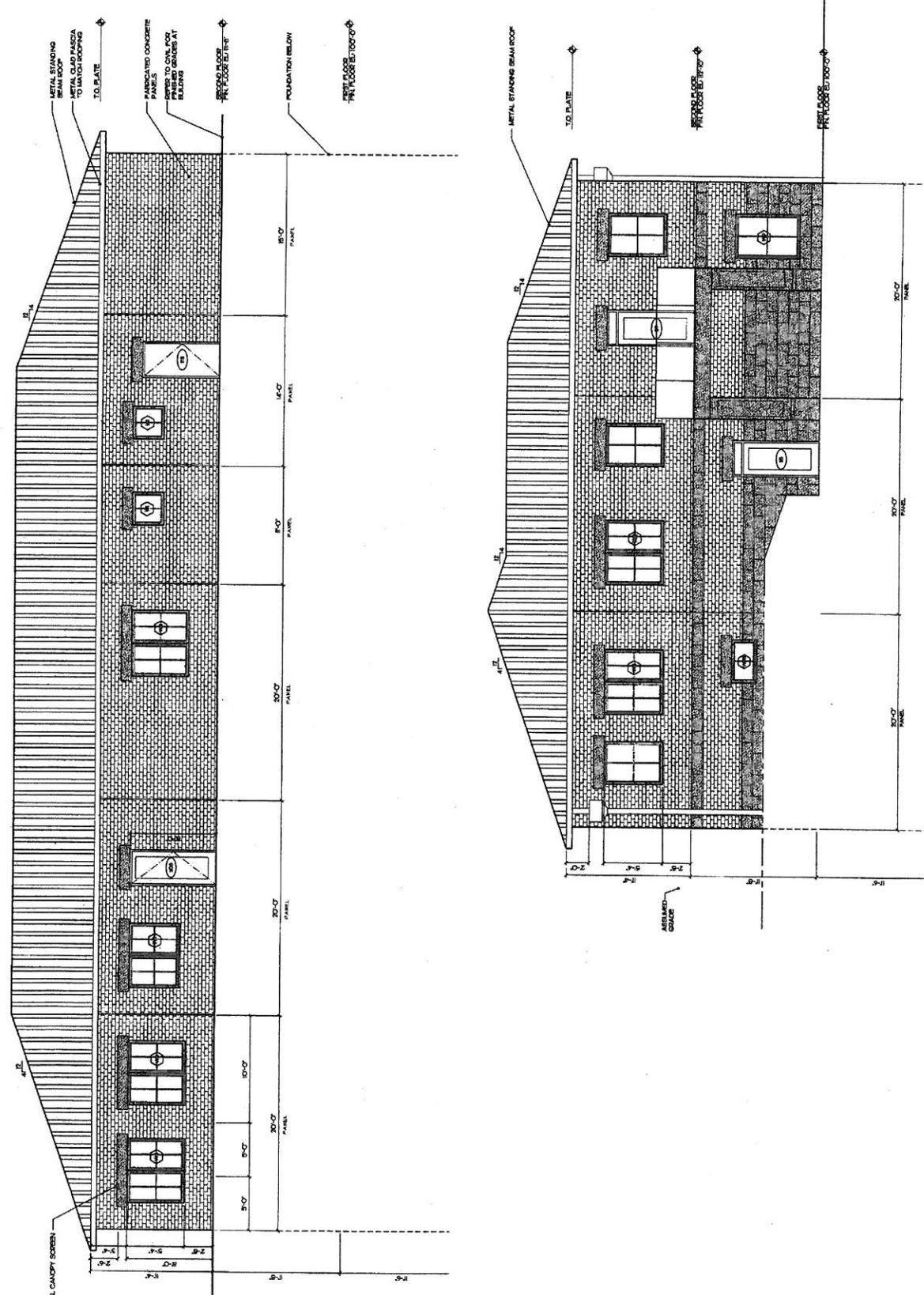
87 Haverhill Road
 Amesbury, MA

Second Floor
 Construction
 Plan



SCALE: AS NOTED
 ISSUED/DRAWN BY: [Name]
 APPROVED BY: [Name]
 DATE: August 07, 2014
 REVISIONS: [Table]

JOB NO: [Number]
 SHEET NUMBER
A3.2





**O'SULLIVAN
ARCHITECTS, INC.**
ARCHITECTURAL DESIGN PLANNING
650 MAIN STREET, SUITE 204
READING, MASSACHUSETTS 01867
TEL: (978) 526-1100 FAX: (978) 526-1170
WWW.OSULLIVANARCHITECTS.COM

This drawing is an architectural rendering and does not constitute a contract. It is intended to illustrate the general concept of the proposed design. It is not to be used for construction purposes. All dimensions and materials are subject to change without notice. © 2014 O'SULLIVAN ARCHITECTS, INC.

**SHEA
CONCRETE PRODUCTS
OFFICES**

87 Haverhill Road
Amesbury, MA

1/8" Floor Plans
CONSTRUCTION PLAN



SCALE: 1/8" = 1'-0"

ISSUED/DRAWN BY

May 06, 2014

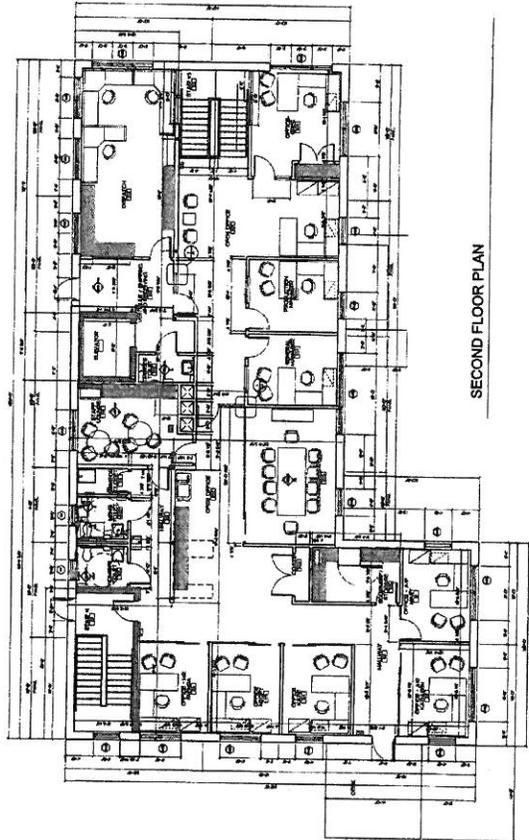
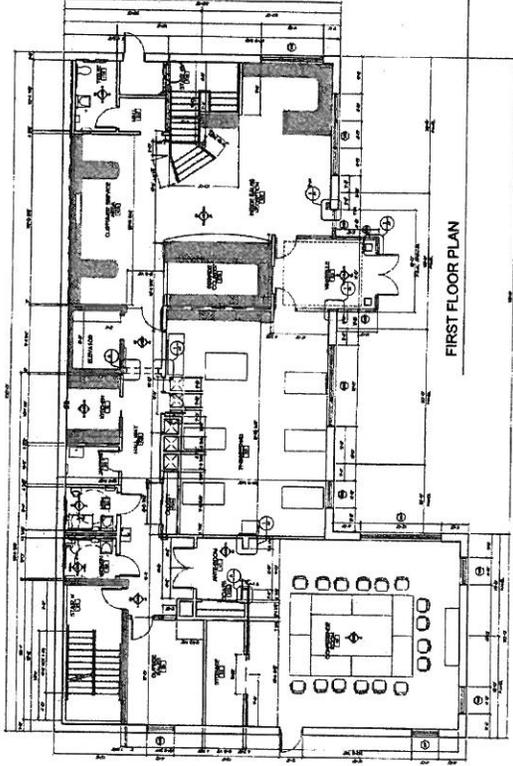
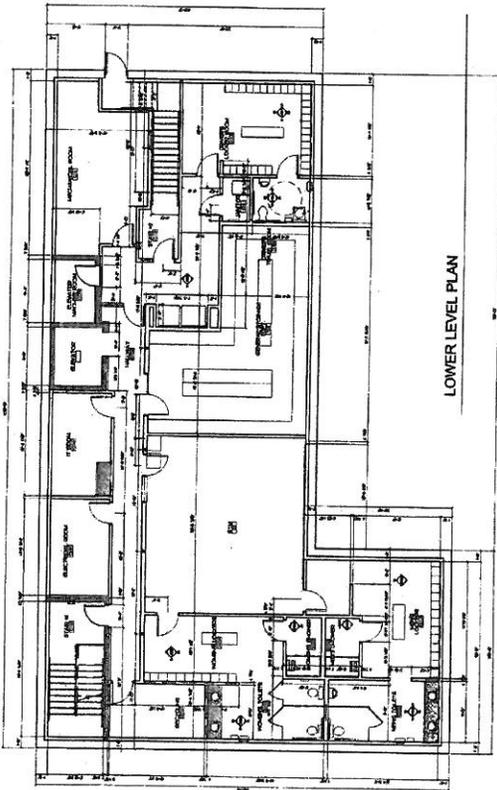
REVISIONS/ISSUED BY

5/20/2014, PPH

JOB NO: 14642

SHEET NUMBER

A1.0

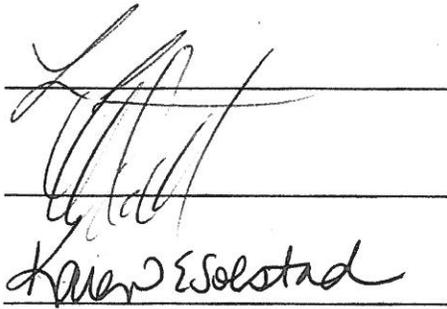


TO:
Greg Stratis
Shea Concrete Products Trust
773 Salem Street
Wilmington MA 01887

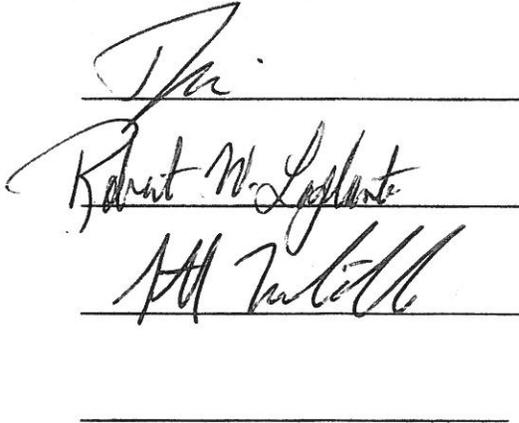
PLANNING BOARD VOTE:

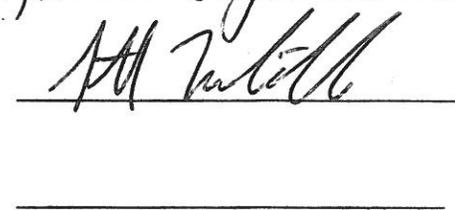
On 3-23-2015, the Amesbury Planning Board voted ALL in favor of the approval of the Special Permit and Site Plan, as amended, for the proposed Office Building and Storage Building for E.F. Shea Concrete Products at 87 Haverhill Road in Amesbury MA subject to the findings, waivers and conditions noted in this Decision.

The following members of the Amesbury Planning Board voted on this Decision:



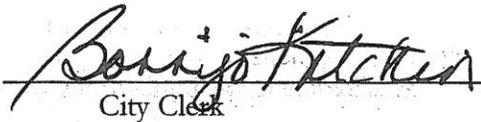
Karen Eselstad



Robert W. Laporte


Matt Farrell

Filed with the City Clerk on May 4, 2015



Bonnie Kitchin
City Clerk

A Building Permit is required for any construction or remodeling. It is your responsibility to file this Special Permit Decision with the Registry of Deeds and to record the plans after endorsement; forms may be obtained from the City Clerk's Office.

Any appeal shall be made pursuant to Mass. General Laws, Section 17, Chapter 40A, and shall be filed within twenty (20) days after the date of filing of such notice in the City Clerk's Office.

Compliance with Conditions Set Forth by the Amesbury Planning Board Decision prior to Issuance of a Building Permit

SIGN-OFF FORM (PB200601-BUILDING)

(IMPORTANT: IT IS THE RESPONSIBILITY OF THE PERSON SEEKING BUILDING PERMIT TO GET THE SIGN OFF FROM EACH OF THE DEPARTMENTS LISTED BELOW. THE TOWN WILL NOT BE HELD RESPONSIBLE FOR LACK OF ACTION ON THE APPLICANT'S BEHALF. BEFORE SIGNOFF, COPIES OF THE RECORDED DECISION AND THE APPROVED PLAN SET SHOULD BE SUBMITTED TO THE PLANNING OFFICE.)

By signing below, the following Town Department/Town Officials, agree that the conditions of this permit prior to making application for building permit have been completed and recommend that an application for a building permit for the units indicated below may be granted:

Engineering Department/Town Engineer _____

Department of Public Works/DPW Director _____

Planning Office/City Planner _____

Conservation Commission/Agent _____

Police Department _____

Fire Department _____

Compliance with Conditions of the Amesbury Planning Board Decision prior to Issue of Certificate of Occupancy

SIGN-OFF FORM (PB200602-OCCUPANCY)

(IMPORTANT: IT IS THE RESPONSIBILITY OF THE PERSON SEEKING CERTIFICATE OF OCCUPANCY TO GET THE SIGN OFF FROM EACH OF THESE DEPARTMENTS. THE TOWN WILL NOT BE HELD RESPONSIBLE FOR LACK OF ACTION ON THAT PERSON'S BEHALF)

The following Town Department/Town Officials, by signing below, agree that the conditions of this permit from the start of construction to prior to issue of occupancy permit have been completed and recommend that the Certificate of Occupancy be granted for the units indicated on this form.

Engineering Department/Town Engineer _____

Department of Public Works/DPW Director _____

Planning Office/City Planner _____

Conservation Commission/Agent _____

Police Department _____

Fire Department _____